



Notice of a public meeting of

Planning Committee

- To:** Councillors Fisher (Chair), Ayre, Barker, D'Agorne, Daubeney, Doughty, Douglas, Fenton, Hollyer, Looker, Lomas, Melly, Pavlovic (Vice-Chair), Warters and Waudby
- Date:** Thursday, 3 February 2022
- Time:** 4.30 pm
- Venue:** The George Hudson Board Room - 1st Floor West Offices (F045)

AGENDA

1. **Declarations of Interest**

At this point in the meeting, Members are asked to declare:

- any personal interests not included on the Register of Interests
- any prejudicial interests or
- any disclosable pecuniary interests

which they may have in respect of business on this agenda.

2. **Minutes** (Pages 3 - 12)

To approve and sign the minutes of the last meeting of the Planning Committee held on 6 January 2022.

3. Public Participation

At this point in the meeting members of the public who have registered to speak can do so. Members of the public may speak on agenda items or on matters within the remit of the committee.

Please note that our registration deadlines have changed to 2 working days before the meeting, in order to facilitate the management of public participation at remote meetings. The deadline for registering at this meeting is **5:00pm on Tuesday 1 February 2022.**

To register to speak please visit www.york.gov.uk/AttendCouncilMeetings to fill in an online registration form. If you have any questions about the registration form or the meeting, please contact Democratic Services. Contact details can be found at the foot of this agenda.

Webcasting of Public Meetings

Please note that, subject to available resources, this meeting will be webcast, including any registered public speakers who have given their permission. The meeting can be viewed live and on demand at www.york.gov.uk/webcasts.

During coronavirus, we've made some changes to how we're running council meetings. See our coronavirus updates (www.york.gov.uk/COVIDDemocracy) for more information on meetings and decisions.

4. Plans List

This item invites Members to determine the following planning applications:

a) Mecca Bingo, 68 Fishergate, York YO10 4AR [21/01605/FULM] (Pages 13 - 74)

Demolition of existing buildings and redevelopment of the site to form 275no. room purpose built student accommodation with associated car parking, landscaping and facilities [Fishergate Ward]

5. Alton Cars York Ltd, 3 James Street, York YO10 3WW [21/02164/FULM] (Pages 75 - 128)

Demolition of existing buildings and redevelopment of the site for purpose-built student accommodation with up to 319 bedrooms, associated communal facilities, car parking and landscaping [Guildhall Ward]

6. Urgent Business

Any other business which the Chair considers urgent under the Local Government Act 1972.

Democracy Officer

Democratic services

Contact details:

- Telephone: 01904 551088
- Email: democratic.services@york.gov.uk

For more information about any of the following please contact the Democratic Services Officer responsible for servicing this meeting:

- Registering to speak
- Business of the meeting
- Any special arrangements
- Copies of reports and
- For receiving reports in other formats

Contact details are set out above.

This information can be provided in your own language.

我們也用您們的語言提供這個信息 (Cantonese)

এই তথ্য আপনার নিজের ভাষায় দেয়া যেতে পারে। (Bengali)

Ta informacja może być dostarczona w twoim własnym języku. (Polish)

Bu bilgiyi kendi dilinizde almanız mümkündür. (Turkish)

یہ معلومات آپ کی اپنی زبان (بولی) میں بھی مہیا کی جاسکتی ہیں۔ (Urdu)

 **(01904) 551550**

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If you are attending a meeting in West Offices, you must observe the following protocols.

Good ventilation is a key control point, therefore all windows have been opened to allow adequate ventilation, they must be left as set prior to the start of the meeting.

If you're displaying possible coronavirus symptoms (or anyone in your household is displaying symptoms), you should follow government guidance. You are advised not to attend your meeting at West Offices.

Testing

The Council encourages regular testing of all Officers and Members and also any members of the public in attendance at a Committee Meeting. Any members of the public attending a meeting are advised to take a test within 24 hours of attending a meeting, the result of the test should be negative, in order to attend.

Test kits can be obtained by clicking on either link: [Find where to get rapid lateral flow tests - NHS \(test-and-trace.nhs.uk\)](https://www.nhs.uk/conditions/coronavirus/coronavirus-test-kits), or, [Order coronavirus \(COVID-19\) rapid lateral flow tests - GOV.UK \(www.gov.uk\)](https://www.gov.uk/order-coronavirus-rapid-lateral-flow-tests).

Alternatively, if you call 119 between the hours of 7am and 11pm, you can order a testing kit over the telephone.

Guidelines for attending Meetings at West Offices

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- You may wish to wear a face covering to help protect those also attending.
- You are encouraged to wear a face covering when entering West Offices.
- Visitors to enter West Offices by the customer entrance and Officers/Councillors to enter using the staff entrance only.
- Ensure your ID / visitors pass and lanyard is clearly visible at all time and worn around the neck.
- Regular handwashing for 20 seconds is recommended.
- Please use the touchless hand sanitiser units on entry and exit to the building and hand sanitiser within the Meeting room.
- Bring your own drink if required.
- Only use the designated toilets next to the Meeting room.

Developing symptoms whilst in West Offices

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You should also:

- Advise the Meeting organiser so they can arrange to assess and carry out additional cleaning
- Do not remain in the building any longer than necessary
- Do not visit any other areas of the building before you leave

If you receive a positive test result, or if you develop any symptoms before the meeting is due to take place, **you should not attend the meeting.**

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City of York Council

Committee Minutes

Meeting	Planning Committee
Date	6 January 2022
Present	Councillors Fisher (Chair), Ayre, Barker, D'Agorne, Daubeney, Doughty, Douglas, Fenton, Hollyer, Looker, Lomas, Melly, Pavlovic (Vice-Chair) and Waudby
Apologies	Councillor Warters

61. Declarations of Interest

Members were asked to declare, at this point in the meeting, any personal interests, not included on the Register of Interests, or any prejudicial or disclosable pecuniary interests they may have in respect of business on the agenda. There were none.

62. Minutes

Members were informed that it was a virtual meeting being held remotely at which the Committee would make a recommendation which would be ratified by the Chief Operating Officer.

The Director of Governance (and Monitoring Officer) explained that the decision to revert to holding council meetings remotely was taken at the end of December in light of public health advice on COVID. She advised that this was an informal meeting and that decisions would be made by the Chief Operating Officer. She added that the meeting arrangements were being kept under review by Group Leaders, the Leader of the Council, the Chief Operating Officer and public health.

A Member expressed concern about the legal status of the meeting and asked if the Chief Operating Officer was required to follow Committee recommendations. He asked for reassurance on this from the Monitoring Officer and Senior Solicitor. The Director of Governance (and Monitoring Officer) explained that it was an informal meeting that would be used in consultation with the Chief Operating Officer in his decision making. She added that he had indicated that he would follow Members' recommendations. She advised that the Council's Constitution allowed for the Chief Operating Officer to make

decisions. She noted that if the Chief Operating Officer had concerns regarding recommendations being put forward, he could ask for further consultation with Members. She then clarified that this was an informal meeting to make recommendations to the Chief Operating Officer. She confirmed that she was satisfied that the meeting could go ahead and the legalities of it.

A Member requested that the Public Participation agenda item should be taken before the Minutes agenda item. Cllr Ayre proposed and Cllr Daubeney seconded the following amendment to the minutes of the meeting held on 6 October 2021 (minute 49 paragraph 13 of the minute for the Os Field 2800, Eastfield Lane, Dunnington, York[20/01626/FULM] application:

After members voted, the Chair commented on his reasons for abstaining which some other members considered to pre-determine him for future applications.

Concerning the minutes of the meeting held on 2 December 2021, Cllr Daubeney proposed the removal of his name from the attendance list and to be added to the apologies list. The Chair proposed a further amendment under Declarations of Interest of those minutes to amend the last sentence to:

The Chair noted that Roger Pierce, registered to speak on the item, was a senior officer at a council that the Chair was a Council Member of, and as such, the Chair would leave the meeting for that item with Cllr Pavlovic, Vice Chair, taking over as Chair for that item.

Concerning the minutes of the meeting held on 7 October 2021, a Member asked for clarification on the final bullet point of the minute for the Os Field 2800, Eastfield Lane, Dunnington, York [20/01626/FULM] application regarding consultation with Ward Councillors and local Parish Councillors on Construction Environment Management Plan. At this point in the meeting, a Member expressed concern regarding the amendment to minutes of the meeting held on 7 October 2021 (minute 49 paragraph 13 of the minute for the Os Field 2800, Eastfield Lane, Dunnington, York [20/01626/FULM] application that had been moved by Cllr Ayre.

[At 16:52 Cllr Waudby asked if she could turn off her camera as she had internet network issues. She then turned off her camera and remained present at the meeting with her camera off].

A Member requested that each proposed amendment be taken one at a time. A further Member agreed with this approach.

Cllrs Ayre and Daubeney confirmed their acceptance of the further proposed amendments to the minutes of the meeting held on 2 December 2021.

Concerning the question regarding consultation with Ward and Local Parish Councils, it was clarified that Ward Councillors and local Parish Councillors would be made aware of the Construction Environment Management Plan. Cllr Ayre proposed this as an amendment to the minutes.

The Director of Governance (and Monitoring Officer) advised that she had observed the meeting held on 7 October 2021 and she confirmed that the proposed amendment from Cllr Ayre addressed the meaning of what was said. In response to a request from a Member Cllr Ayre repeated his proposed amendment.

A vote was then taken with seven Members for, five Members against and two abstentions that it be:

Resolved: That the Chief Operating Officer;

- i. Approve the minutes of the meeting held on 7 October 2021 subject to the following amendments:
 - Paragraph 13 of the minute for the Os Field 2800, Eastfield Lane, Dunnington, York [20/01626/FULM] application to change to:
After members voted, the Chair commented on his reasons for abstaining which some other members considered to pre-determine him for future applications.
 - Final bullet point of the minute for the Os Field 2800, Eastfield Lane, Dunnington, York [20/01626/FULM] application to change to:
It was not considered reasonable for the Construction Environment Management Plan for the development to be brought to the ward councillors and local parish council for consultation before approval since the decision was solely to local planning authority's to make, although they could be made aware.

- ii. Approve the minutes of the meeting held on 4 November 2021
- iii. Approve the minutes of the meeting held on 2 December 2021 subject to the following amendments:
 - Removal of Cllr Daubeney from the attendance list and add to the apologies list.
 - Under Declarations of Interest of those minutes to amend the last sentence to:

The Chair noted that Roger Pierce, registered to speak on the item, was a senior officer at a council that the Chair was a Council Member of, and as such, the Chair would leave the meeting for that item with Cllr Pavlovic, Vice Chair, taking over as Chair for that item.

63. Public Participation

It was reported that there had been one registration to speak at the meeting under the Council's Public Participation Scheme on general matters within the remit of the Planning Committee. The registered speaker, Gwen Swinburn, was not available at this point in the meeting and the Chair noted that she would be contacted to speak at later point in the meeting.

64. Plans List

Members considered a schedule of reports of the Head of Planning and Development Services, relating to the following planning applications, outlining the proposals and relevant policy considerations and setting out the views of consultees and officers.

64a Aubrey House, Foss Islands Road, York YO31 7UP [20/01200/FULM]

Members considered a major full application from Urbanite, S & J D Robertson Group Ltd And Portman Land Ltd for the erection of 5 storey student accommodation building with associated car parking following demolition of existing buildings at Aubrey House, Foss Islands Road, York, YO31 7UP.

The Head of Planning and Development Services gave a presentation on the application. She then gave an update to Members advising that further comments had been received from York Civic Trust, the submission of revised plans for the application, and proposed additional conditions on the flood

evacuation plan, cycle parking, and removal of a redundant crossing. She also advised Members of the following change to the recommendation:

In light of the urgent decision making procedures contained within the Council's Constitution being invoked, this Planning Committee meeting will be held remotely. Upon considering the Application, Members will make a recommendation as to whether they are minded to approve or refuse the Officer's recommendation. The outcome of this meeting will then be communicated to the Chief Operating Officer who will make the formal decision taking into account views of the Members. She then outlined the recommendation to the Chief Operating Officer should Members agree.

At this point the Chair advised Members that following consultation with the Vice Chair, Chief Planning Officer (Head of Planning and Development Services), and Monitoring Officer, there was agreement on the change of procedure at the meeting to take public participants on the application first, followed by Member questions to the public participant and Officers.

Public Speaker

Emma Lancaster, Agent for the Applicant, spoke in support of the application. She explained that the applicant had a strong track record of student accommodation, including the Courtyard student accommodation in York. She noted that it was high quality accommodation. She noted that whilst Aubrey House was a reminder of the past, it was not listed and that the building behind it was temporarily used by a community group but was not suitable for community use.

In response to Member questions, Emma Lancaster explained that:

- The layout of the cycle parking store was devised working with highways officers and as a result the cycle parking on ground level had increased. There were single and two tier cycle racks.
- Regarding there being no windows on the rear elevation, it was the relationship with the building to the rear that led to the blank elevation to avoid the sense of overlooking into the building behind.
- The accessible rooms on the ground, first, and second floors were in proximity to the central lift and there was

level access from the car park to those rooms, which were fully DDA compliant.

In response to Member questions, Officer clarified that:

- There was a mix of accommodation on the site, with eleven cluster flats providing 62 bed spaces. There was also communal space and a terrace. Some rooms were smaller and some larger as was the mix of other student accommodation across the city. Officers did not have any concerns about the communal space.
- Concerning the environmental impact of demolition, there was no reason in planning policy not to allow demolition. There was no current reference to the use of environmental impact assessments in the NPPF.

[Cllr D'Agorne left the meeting at 17:20]

Planning Officers were satisfied with the revisions to the plans put forward and felt that the reduction in size and height were sufficient.

- Regarding flooding, the lower ground floor was designed to flood and there was a flood evacuation plan.
- The layout of the cluster flats was explained.
- Aubrey House was a C19 building and was last in residential use. Regarding the use of the building behind Aubrey House, this was a C20 building and was last in community use in 2020 and had ceased because of asbestos. The users of that building had found alternative use at 52A Stonegate.
- The proposed change to the condition regarding cycle parking (as detailed in the committee update) was for 81 cycle spaces
- Regarding the comments made by York Civic Trust, the committee needed to consider the application before it.
- Public Protection had received no complaints regarding noise and noise was conditioned with a management plan.

Cllr Pavlovic moved and the Chair seconded the recommendation to the Chief Operating Officer to delegate authority to the Head of Planning and Development Services to approve the application. After debate and on being put to the vote with all being unanimously in favour, it was:

Resolved: That the Chief Operating Officer delegate authority be given to the Head of Planning and Development Services to APPROVE the application subject to:

a) The completion of a Section 106 Agreement to secure the following planning obligations:

- Open Space £12,231 improve the amenity open space within the nearby St Nicholas Fields.
- Travel Plan £10,000 towards the City of York Travel Plan support
- Traffic Regulation Order £6,000 towards a review of parking/ loading restrictions on Mansfield street and Foss Islands Road in the vicinity of the site and associated Traffic Regulation Order

b) The conditions set out in the case officers report and additional information sheet

ii) The Head of Planning and Development Services be given delegated authority to finalise the terms and details of the Section 106 Agreement.

c) Condition 23 being amended to being in perpetuity

d) Condition 25 amended to remove cycle parking reference as it is covered in the additional information condition which specifically refers to cycle parking provision requirements.

iii) The Head of Planning and Development Services be given delegated authority to determine the final detail of the planning conditions

Reasons:

- i. The application site is in a sustainable location. The site is within Flood Zone 3 would not increase flood risk elsewhere. The proposal meets the requirements of the NPPF sequential and exception tests (as set out above) and is acceptable when considered against national planning policy on flood risk, the sequential and exceptions tests are passed. The proposed development is not considered to result in harm to residential amenity or highway safety, nor would the proposal have an unacceptable impact on ecology on or adjacent to the site.

- ii. The loss of the Aubrey house is considered to result in harm to the setting of the Central Historic Core Conservation Area. The Courts have held that when a local planning authority finds that a proposed development would harm a heritage asset the authority must give considerable importance and weight to the desirability of avoiding such harm to give effect to its statutory duties under sections 66 and 72 of the 1990 Act. The finding of harm to a heritage asset gives rise to a strong presumption against planning permission being granted. Where a development proposal will lead to less than substantial harm to the significance of a heritage asset, this harm should be weighed against the public benefits of the proposal. The proposal would provide student accommodation where there is need for university accommodation within the city, and would benefit the wider housing supply. On balance it is considered that the public benefits of the scheme outweighs the aforementioned specified harm.

[The meeting adjourned from 17:44 to 17:53, during which time Cllr Hollyer left the meeting]

65. Public Participation

Gwen Swinburn felt that the meeting was unlawful and asked which councils were conducting their meetings online. She listed the councils that held their meetings in person. She suggested that the agenda should not have been issued without stating which law was being referred to. She requested that the Chief Operating Officer to include areas of recommendations that he had not approved. She requested a change to the order of the meeting and a peer review into the Planning Committee.

Chair's Remarks

The Chair asked if Members felt that questions to speakers and officers after public participation was better. A Member felt that it was better.

Cllr T Fisher, Chair

[The meeting started at 4.40 pm and finished at 5.57 pm].

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COMMITTEE REPORT

Date: 3 February 2022 **Ward:** Fishergate
Team: East Area **Parish:** Fishergate Planning
 Panel

Reference: 21/01605/FULM
Application at: Mecca Bingo 68 Fishergate York YO10 4AR
For: Demolition of existing buildings and redevelopment of the site to form 275no. room purpose built student accommodation with associated car parking, landscaping and facilities
By: Petrina Ltd And Grantside (North Star West) Ltd
Application Type: Major Full Application
Target Date: 5 January 2022
Recommendation: Approve subject to Section 106 Agreement

1.0 INTRODUCTION

1.1 This application was deferred at Planning Committee 2 December 2021 as members requested further information regarding –

- Justification for the loss of the former bingo premises, whether there is a loss of a community facility and whether this is justified.
- Practicality of the servicing access (for deliveries) and associated safety issues
- Accessibility
- Sub-station (visual impact and noise)
- Cycle storage

1.2 In response to the issues raised, further information and policy context regarding the loss of the existing facility is detailed at 5.2 onwards. Changes to the scheme in respect of servicing and accessibility are detailed in paragraph 5.22 onwards. The building layout has been revised so the entrance and reception are now off Blue Bridge Lane. A noise assessment has been issued that confirms noise output from the sub-station would be acceptable, taking into account relevant British Standards and World Health Organisation guidelines.

1.3 The amendments have been subject to public re-consultation. There have been comments from, or on behalf of fourteen objectors and these are summarised in 4.1.

Application site

1.4 The application site currently accommodates a bingo hall with car parking (approx.. 128 spaces), constructed 2002. The building covers the south section of the site. There is an open car park on the north side. Vehicle access is from William Court.

1.5 To the north of the site is the car park associated with the Novotel. William Court to the west is a cul-de-sac of 3-storey houses. Fishergate House, a residential development set within landscaping and car parking is to the south. The 1837 house, which is setback from Fishergate, is Grade II listed. Buildings on the opposite side of Fishergate are 2-storey and 3-storey in height. Directly opposite is Fishergate School, Grade II listed.

1.6 The site is immediately south of the city centre, as defined on the 2018 Draft Local Plan proposals map. The Central Historic Core Conservation Area lies to the east. The Conservation Area was extended south, to include the Fishergate area, following recommendations in the Central Historic Core Conservation Area Appraisal by Alan Baxter Associates 2011. The application site, the Novotel development and contemporary houses were redeveloped in the late 20th century (replacing the glassworks which historically occupied the site), and are excluded from the conservation area.

1.7 The site is within the City Centre Area of Archaeological Importance. It is not in Flood Zone 2 or Flood Zone 3.

Proposals

1.8 The application is to redevelop the site for purpose built student accommodation. The development would provide 275 student rooms; a mix of cluster flats and studios. There would be ground floor communal facilities in the wing fronting Fishergate. There are 5 car parking spaces (including a car club space and accessible spaces) and service access on the William Court side of the site. The layout provides two landscaped courtyard areas, which will be evident from Fishergate and Blue Bridge Lane. The scheme is 4-storey but designed to appear as 3-storey with the top floor concealed behind pitched roofs and projecting front gables.

2.0 POLICY CONTEXT

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determinations be made in accordance with the development plan unless material considerations indicate otherwise.

2.2 The National Planning Policy Framework ('NPPF') is a material consideration in the determination of this planning application. Key policies / sections of the NPPF are as follows –

- 5 Delivering a sufficient supply of homes
- 8 Promoting healthy and safe communities
- 9 Promoting sustainable travel
- 11 Making effective use of land
- 12 Achieving well-designed places
- 14 Meeting the challenge of climate change, flooding and coastal change
- 16 Conserving and enhancing the historic environment

2.3 The Publication Draft City of York Local Plan 2018 ('2018 eLP') was submitted for examination on 25 May 2018. In accordance with paragraph 48 of the NPPF its policies can be afforded weight according to:

- The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);
- The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- The degree of consistency of the relevant policies in the emerging plan to the policies in the previous NPPF published in March 2012.

2.4 Key relevant Publication Draft Local Plan 2018 Policies are as follows -

- DP3 Sustainable Communities
 - D1 Place-making
 - D3 Cultural Provision
 - D6 Archaeology
- CC1 Renewable and Low Carbon Energy Generation and Storage
- CC2 Sustainable Design and Construction of New Development
- ENV1 Air Quality
- ENV5 Sustainable Drainage
- H7 Student Housing
- HW1 Protecting Existing Facilities
- T1 Sustainable Access

3.0 CONSULTATIONS

3.1 Since the previous committee meeting updated consultation comments have been received from Public Protection and Fishergate Planning Panel.

Design, Conservation and Sustainable Development - Archaeology

3.2 Officers have recommended a condition requiring a programme of mitigation, to involve excavation and public engagement.

3.3 The site is within the Central Area of Archaeological Importance and known to contain significant archaeological features and deposits from all periods despite being developed since the 19th century. The site was evaluated in 1994 (by YAT) with further evaluation and excavation (by FAS) in the early 21st century ahead of the construction of the bingo hall. These investigations were limited in the northern half of the site due to the extant Rialto Cinema at the time.

3.4 The layout of the proposed building has been driven by above-ground constraints and design guidance. Unfortunately, the design does not utilise the areas previously excavated as much as it might have done if archaeologically led. The proposed foundation design / pile caps will impact upon the remains of the cinema, medieval and potentially earlier pockets of archaeology within the northern half of the site. In the southern half the pile caps will impact upon significant archaeological deposits preserved as part of the Mecca Bingo construction.

3.5 The impact will include areas identified during previous investigations as potentially containing archaeology dating to the Anglian period. The archaeology relating to the Anglian period has been identified as of national significance, the resource relating to other periods across the site has not. However the known Anglian archaeology on the Mecca Bingo site is also not of the same quality or quantity as the excavated glassworks site immediately to the north of this site in the mid-1980s.

3.6 Implementation of the scheme will further divide and penetrate the remaining archaeology, particularly in the southern part of the site. Any legibility of deposits preserved in-situ will be compromised and the resource is likely to be no further understood. Furthermore, there are large obstructions in the northern half of the site which will potentially require pile probing which will also have a detrimental impact on any remaining pockets of in-situ archaeology.

3.7 In this case the public benefit of fully excavating the remaining elements of archaeology on-site is therefore the preferable approach. The information derived would complete the archaeological picture of the area running from the glassworks site to the north to Blue Bridge Lane to the south. By stripping the site, a final decision can be made as to whether it is possible to preserve any reasonably sized areas of

archaeology in-situ. This approach will allow the most control over the archaeological deposits to be exerted. However, it is anticipated, given the amount of interventions past, present and proposed, that a full excavation is likely to be required in order to maximise public benefit from the site.

3.8 An archaeological remains management plan is required. This will set out the details for the initial strip, any monitoring during further site investigation and be updated when the final archaeological mitigation scheme is known. The plan should also set out a program of public engagement relating to the excavation. It may be possible to use the remaining structural elements of the Rialto Cinema as a public engagement tool. Publication of the findings, in particular how these relate to the excavations which have taken place on surrounding sites over the past 40 years, will then occur.

Design, Conservation and Sustainable Development - Architect

3.9 Previous recommendations by officers have been incorporated in the scheme as follows –

- Required a setback between the north wing and Fishergate to allow for landscape. A setback of 3.5m to 4m is proposed which is satisfactory.
- Roof – preference was for the section of roof between pairs of gables to be pitched reasonably, so the design is authentic and the gables are the prominent feature. The scheme has been amended on the elevation facing William Court (elevation 03) where the issue was most significant, due to the lack of staggered building line and intervening chimney between the gables.
- Officers maintain the amenity of residents on William Court could be affected by the development, due to it being over-bearing and causing over-looking.

Design, Conservation and Sustainable Development – Landscape

3.10 The scheme has been amended to address the following recommendations –

- The north side of the site accommodates planting, to benefit outlook and encourage wildlife. The existing hedge and Alder trees are retained with a grass margin by the building.
- Fishergate elevation - the northeast gable is setback from Fishergate to create a stronger and more prestigious entrance and setting, and to better key the building into its landscape/streetscape context.
- By the south site boundary the railings have been pushed back from the footpath to increase the dominance of the planting.

Design, Conservation and Sustainable Development - Ecology

3.11 To provide appropriate biodiversity benefits ask for a condition to secure 4 integrated features for bat roosts and 4 for nesting birds.

Highway Network Management

3.12 Raised concern over the main entrance location on Fishergate because of the likelihood there will be drop-off and deliveries adjacent the entrance (despite current waiting restrictions). Such practice would raise safety concerns, in particular due to the proximity to the zebra crossing and proximity with the junction to the gyratory. It was asked for the access to be relocated.

3.13 The initial cycle parking provision (around 65%) is reasonable and compares to similar student accommodation schemes.

3.14 Contributions requested for a traffic regulation order – to enforce no stopping at any time on Fishergate. Contribution sought for the Council to assist with the Travel Plan and ensure it is appropriate in terms of securing targeted sustainable travel measures. A student management plan, to deal with the possible issue of students parking locally to the detriment of highway safety, requested. A similar approach to the student accommodation scheme at Frederick House recommended.

Public Protection

Noise

3.15 Ask for conditions to require adequate noise levels within the proposed accommodation, and to approve details and noise levels of machinery, plant and equipment. In respect of the assessment pertaining to the sub-station officers advise that the *“mitigation measures for the substation have been provided in relation to the louvers and should be implemented”*. The submitted construction management plan is acceptable in terms of measures regarding construction noise (& dust).

Land contamination

3.16 Past site activities could have given rise to land contamination and potential contaminants. The site appraisal report recommends that an intrusive ground contamination assessment be carried out to find out whether contamination is present. Officers recommend conditions for a remediation scheme and implementation.

Air quality

3.17 Construction - through good site practice and the implementation of suitable mitigation measures, the effect of dust and particulate matter releases would be minimised and the residual effects are not anticipated to be significant. Operational impacts – no objection or mitigation requested.

Electric vehicle charging facilities

3.18 Officers request 1 electric vehicle charging point, with passive provision for a further space.

External

Designing out crime office (North Yorkshire Police)

3.19 The most significant crime issues that could affect this development are burglary, cycle theft and criminal damage. Recommendations –

- Communal entrance doors fitted with a self-closing mechanism with a lock which engages automatically. Opening restrictors to windows.
- CCTV coverage to cycle storage.
- Access to cores be restricted.

Fishergate Planning Panel

3.20 Object on the following grounds

- The scale of the development is such that it has led to the problems around access. The site should provide for on-site access and turning for delivery vehicles. This will help to avoid the dangers to Fishergate school children and others. The risk is that Blue Bridge Lane will become a dangerous and inadequate turning circle for delivery vehicles, as well as having multiple student drop-offs and pick-ups.
- The substation is clearly in the wrong place and should be re-sited away from the neighbouring residential properties.

York Civic Trust

3.21 The Trust is generally supportive of the design concept and form. The pitched roofs with gable ends are a positive design choice and a welcome contrast to the flat-roofed square-forms of other similar contemporary developments. Recommendations

-

- A 4m setback to allow for more planting between the north wing and Fishergate.
- More prominent entrance to the scheme recommended, to define the buildings function and to provide architectural interest.
- Cycle parking facilities more evenly distributed throughout the site so less visually prominent.
- Accessibility to the communal areas queried as all provided within the south block.

Yorkshire Water

3.22 The drainage strategy is agreed to. Recommend conditions in respect of systems for foul and surface water and implementation of the drainage strategy. A

condition is requested to agree measures during construction to protect the public sewer adjacent the site.

4.0 REPRESENTATIONS

4.1 Since the scheme was last presented to members the amendments have been re-consulted on. Comments received raising further issues are as follows -

- Site not allocated in the 2018 eLP.
- Sub-station – noise – question the appropriateness of the revised report. It refers to background noise levels close to Fishergate (which the Council's Public Protection Team advised would not be reflective of noise levels at William Court); the report does not refer to noise from all plant that would be installed at the site; it states the sub-station brick enclosure will attenuate significantly better than the louvres, but the louvres are on the elevation facing the boundary. Magnetic fields would be detrimental to health.
- The bingo hall was a community facility; loss of community & leisure facility. The site should continue to be used for leisure as it has historically. There are a lack of community facilities nearby.
- Lack of Medical facilities locally
- North Yorks. Police – no further comment

- Now the entrance is proposed off Blue Bridge Lane concerns that noise will have an adverse effect on Fishergate House residents.

Highway Network issues

- Significant increase in traffic.
- Access – preference for single entrance, from Fishergate – better for security and avoiding noise disturbance.
- There will be considerably more traffic on Blue Bridge Lane. The street is unable to safely accommodate such. It is too narrow and suffers from congestion. Vehicles turning on this street would pose a hazard. When cars are parked there is only space for a single lane of traffic. At Fishergate House currently, residents have enormous difficulty gaining ingress and egress from the private carpark when parents drop off and pick up from Fishergate school, the same occurred at key times when the Mecca was in use (when the car parking spaces on the road are in use).
- There should be a lay-by on Fishergate, or a turning head provided on-site.
- If the school cannot use the Mecca car park there will be “chaos”.
- Proposed cycle access via William Court would be very unsafe.

4.2 There were previously 46 contributors on the application. One in support. The comments were as follows –

Adverse effect on neighbours' amenity

- Over-bearing and overlooking due to the scale of the building and its proximity to neighbouring houses and gardens. Adverse effects to William Court and Fishergate House.
- Noise due to comings and goings of residents and deliveries.
- Noise from sub-station / servicing / plant and equipment of the development. All these items are towards the rear by William Court.
- Odour from waste storage
- There should be no access from William Court
- The transient nature of students will detract from the local community.
- No on-site management 24 hr to control behaviour.
- Outdoor spaces could cause noise disturbance.

Highway safety

- Could result in excessive pedestrian traffic at the crossing before/after school.
- Increase in traffic due to deliveries and servicing and residents
- Student arrivals and departures plan is unrealistic.
- Lack of parking will mean cars parked locally. Local parking zones already congested due to the number of cars associated with HMO's.
- Lack of drop-off / servicing bay on Fishergate
- There should be 1 cycle space per unit and storage should be covered.
- The scheme should provide funding to improve cycling on the highway network.
- Traffic management plan and travel plan not fit for purpose
- William Court not of adequate dimensions to be able to accommodate the servicing requirements associated with the development.

Visual impact

- Building looks stark and out of context.
- Over-development of the site, the site is of a similar size to William Court but would accommodate far more residents.
- Building unduly high; should reflect the 3-storey development at William Court.
- Missed opportunity to create a landmark building at this prominent location.
- Contrasting brickwork to William Court

Air Quality

- Detrimental impact on air quality. Due to delays to traffic caused by more people using the zebra crossings and as a consequence of increased traffic.

The type of development proposed

- Lack of evidenced need for student accommodation; higher need for market housing. Other student accommodation schemes have not achieved 100% occupancy rates. Any further student housing should be on campus.
- Loss of leisure / community facility and lack of evidence to show no demand for previous use.

- The scheme will be great for surrounding business.
- Student accommodation unsuitable for a site so close to the river.
- A communal / commercial facility within the building with wider public access would be welcome.
- Poor quality of amenity for future residents due to room sizes.
- Access arrangements in case of fire?
- Pressure on surrounding infrastructure.
- Inadequate percentage of the rooms are accessible (only 4).
- Gas fired boilers unacceptable on sustainability grounds.

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- Concerned that there may be too much student accommodation built in Fishergate Ward and this development might not be viable.
- More needs to be done to reduce overlooking of neighbours and their gardens. Little regard given to the overlooking of residents of Fewster Way.
- The corner of Blue Bridge Lane and Fishergate is a prominent gateway into the city. How the building addresses the corner could be improved. Scheme acknowledged as an improvement to the existing situation. The building where it fronts Fishergate lacks interest. A further setback from the street recommended as a possible solution in this respect.
- Positive about the garden area on Blue Bridge Lane as this breaks-up the monotonous blank wall of the Mecca Bingo currently in situ. Approve of the two colours of red brick, which adds colour and variation to the massing of a large building.
- Concern there is no lay-by immediately by the entrance. Delivery / serving vehicles stopping up and blocking the highway/pavement in this area could affect highway safety.
- Traffic on A19 delayed by persons using the zebra crossing. This could have an adverse effect on air quality.
- Construction traffic – delivery times should avoid peak hours and school opening / closing times
- Operational concerns – should be staff on site always to deal with any concerns regarding noise and management measures to prevent students parking in the surrounding area.

5.0 APPRAISAL

Key issues

5.1 The key issues in assessment of this scheme are -

- Principle of the proposed development

- Heritage Assets / Archaeology
- Design of the proposed building
- Neighbours amenity
- Highway safety and sustainable travel
- Public protection
- Drainage

Principle of the proposed development

Loss of the former use

5.2 At the previous committee meeting members raised issue over the loss of the former use. In this respect NPPF paragraph 93 states that *“to provide the social, recreational and cultural facilities and services the community needs, planning policies and decisions should guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community’s ability to meet its day-to-day needs”*. The officer recommendation is that there is no significant conflict with paragraph 93. The unnecessary loss of a valued facility would not occur and the ability of the community to need its day-to-day needs is not compromised.

5.3 The relevant policies of the Publication Draft Local Plan 2018 (2018 eLP) referred to by members at the previous committee were D3 and HW1.

Policy D3: Cultural Provision

5.4 D3 states *“Development proposals will be supported where they:*

- *enable and promote the delivery of new cultural facilities and/or activities and services such as permanent and temporary public arts;*
- *provide facilities, opportunities, and/or resources for cultural programmes and activities, during an/or after the development period;*
- *do not cause the loss of cultural facilities, activities, or services; and*
- *do not cause the loss of venues or spaces, including in the public realm, that deliver cultural opportunities, activities, or services”*.

5.5 Policy D3 does not explain how to consider a scheme if facilities would be lost i.e. a framework for grounds to refuse an application. The policy is related to new developments. However the supporting text advises that –

“Arts and Cultural facilities add value and support to community participation, wellbeing and development. The City of York’s residents demonstrate pride in their cultural diversity. The City of York is keen to protect these capacities to engender community cohesion and civic pride. As part of good place-making, cultural quality,

assets, and opportunities can also add to the attractiveness and value of development schemes”.

5.6 Officer advice is that it is for the decision maker to determine whether, and if so, to what extent, the scheme would lead to a loss of a cultural facility, considering the impact this would have on the social and cultural well-being of the city and community cohesion. If there is considered to be a harmful effect, then this can be taken into account when undertaking the planning balance in decision-making.

5.7 In consideration of the impacts –

- The city would retain a bingo facility; Clifton bingo. This is on the north-west side of the city but is on a bus route and therefore accessible.
- The former operator of Mecca bingo has closed multiple venues nationally over the last five years. Closure is due to a decreased revenue from venues and the increase in digital (on-line) revenue. Visitor numbers to venues has decreased by some 45%.
- Mecca bingo closed in 2020, determined the site was unviable, and declined to renew their lease which expired in 2021.

Policy HW1: Protecting Existing Facilities.

5.8 Policy HW1 defines community facilities as *“buildings, facilities, and services that meet the day-to-day-needs of communities. This may include libraries, post offices, and community meeting places, such as youth groups, places of worship, and parish and village halls”*. HW1 states the loss of community facilities will be not be supported, unless it can be demonstrated –

- The scheme provides alternative facilities;
- the facilities no longer serve a community function and demonstrably cannot be adapted to meet other community needs;
- in the case of commercial facilities, evidence is provided that demonstrates the facilities are no longer financially viable.

5.9 A bingo hall is a Sui Generis (class of its own) in the use classes order. It is not regarded as a community facility in the 2021 iteration of the use classes order. A community facility would fall under class F2 (local community uses) or possibly F1 (learning & non-residential institutions which includes, for example, public halls and libraries). If the former use; bingo hall and car park, were considered facilities essential for the day to day needs of the community, in application of HW1 the third bullet point would apply. As set out in 5.7 above the former site operator declined to renew their lease because the venue was deemed unviable. The operator has closed multiple sites across the country on this basis due to a fall in attendance at venues (and associated revenue) and an increase in online demand.

Proposed use

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5.10 Fundamentally paragraph 11d of the NPPF applies. There is a presumption in favour of sustainable development. Planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when applying the policies within the NPPF. Other key sections in the NPPF, which determine the proposed development would be acceptable in principle, are Section 5. Delivering a sufficient supply of homes, 8. Promoting healthy and safe communities and 11. Making effective use of land. NPPF paragraph 38 states “decision-makers at every level should seek to approve applications for sustainable development where possible”.

5.11 NPPF Section 5 states that “to support the Government’s objective of significantly boosting the supply of homes (which includes student housing), it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay”.

5.12 The site is previously developed and in a sustainable urban location. The proposed re-use of the site in principle conforms with NPPF section 11, which requires planning decisions should:-

- Promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions (paragraph 119).
- Give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs (120).
- Local Planning Authority’s should take a proactive role in identifying and helping to bring forward land that may be suitable for meeting development needs (121).
- Take a positive approach to applications for alternative uses of land, where it is developed but not allocated for a specific purpose in plans, where this would help to meet identified development needs. (123).

5.13 Policy H7 Student Housing within the 2018 eLP carries limited weight in decision-making at this stage as the emerging plan is not adopted and the policy is subject to objections. The first point is also not currently consistent with the NPPF because the presumption in favour of sustainable development is engaged in York. It is against the NPPF policies that this proposal should principally be assessed. H7 states proposals for new student accommodation will be supported where:

- there is a proven need for student housing; and
- it is in an appropriate location for education institutions and accessible by sustainable transport modes; and
- development would not be detrimental to the amenity of nearby residents and the design and access arrangements would have a minimal impact on the local area.

5.14 The amount of purpose built student accommodation (PBSA), operated by the university and other operators, including permissions yet to be implemented, would accommodate under 50% of students (in full time education). The data evidences need for PBSA. Taking into account NPPF policy on decision making (in paragraphs 11 and 38), the latter states Local planning authorities should approach decisions on proposed development in a positive and creative way and decision-makers at every level should seek to approve applications for sustainable development where possible, the application could not be resisted in principle on the basis of need.

5.15 Schemes for PBSA at Fawcett Street (21/01570/FULM) and Fulford Road (19/00603/FULM), within close proximity to this site, have recently been considered, with no objection on location grounds. The location is suitable for student accommodation, given the proximity to the city centre and York University. The site is in a sustainable location, literally just outside of the city centre, as shown in the 2018 eLP proposals maps.

5.16 The impact on nearby residents and the local area is appraised in the following sections regarding design and amenity.

Heritage Assets / Archaeology

Character and appearance of the conservation area

5.17 The site is outside of, but adjacent to, the Central Historic Core Conservation Area. The Council has a statutory duty (under section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to consider the desirability of preserving or enhancing the character or appearance of designated Conservation Areas. Where there is found to be harm to the character or appearance of the Conservation Area, the statutory duty means that such harm should be afforded considerable importance and weight when carrying out the balancing exercise. The approach to determining planning applications, in terms of assessment on Heritage Assets, is set out in Section 16 of the NPPF.

5.18 The site is just outside of the Fishergate character area of the Central Historic Core Conservation Area. The conservation area was extended as part of the most recent appraisal, to include Fawcett Street and Fishergate. The character area appraisal overview states “the historic character of the area is fragmented by modern development and its ambience is compromised by high volumes of fast moving cars – it essentially operates as a traffic island. Despite these issues, the area should be incorporated within the Conservation Area as it forms an important entry point to the city and provides a setting for the city walls”. The ‘opportunities’ recommended for the area include more pedestrian crossing points on Fishergate.

5.19 The site as existing differs from the prevalent conservation area character along Fishergate, taking into account urban grain / townscape, building materials and local

vernacular. The proposed scheme will better address the street considering the form, proportion and materiality of the proposed buildings, which are of a comparable scale to neighbouring buildings, reference local vernacular in their use of front gables and use of red brick (two tones of red-multi brickwork is proposed). The layout will provide views into the two landscaped courtyards, reflecting the character of Fishergate House to the south. Consultation responses have referred to the front gable of the north wing and its undue close proximity to Fishergate. This concern has been addressed in the revised scheme (now proposed) and the front gable has been pushed back between 3.5m to 4m from the footpath. This allows for soft landscaping that will complement the planting in front of the site (within the highway) and Fishergate School opposite. There is no identified harm to the Central Historic Core Conservation Area (which is adjacent the site).

Setting of listed buildings

5.20 Fishergate Primary School, on the opposite side of the road is Grade II listed, as is Fishergate House to the south, and Ivy Cottage at 33 Fishergate to the north.

5.21 Section 66 of the of the Planning (Listed Buildings and Conservation Areas) Act 1990 advises that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

5.22 The listed buildings in the vicinity of the site are all within an urban inner city location. The proposed development will not affect how these buildings are appreciated in context and public views will not be affected. The scheme has a neutral effect on listed buildings.

Archaeology

5.18 The site is within the City Centre Area of Archaeological Importance. NPPF paragraph 194 states that “where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation”.

5.19 Policy D6 of the 2018 eLP advises that proposals will be supported where harm to archaeological deposits is unavoidable, when detailed mitigation measures have been agreed with City of York Council that include, where appropriate, provision for deposit monitoring, investigation, recording, analysis, publication, archive deposition and community involvement.

5.20 The applications have provided an adequate desk-based assessment, as required by the NPPF. York Archaeological Trust have also undertaken preliminary

site investigations, which are reported in the application and inform the proposed mitigation agreed with the Council's Archaeologist. The mitigation will be secured through condition and comprise stripping the site, to determine whether archaeology can be preserved in-situ, considering the foundation design, otherwise there will be excavation (a full excavation is expected). The mitigation, combined with the benefits of the proposed regeneration of the site, outweigh the impact on archaeology if excavation is required. The approach will be set out in an archaeological remains management plan. The plan will be required to set out a program of public engagement relating to the excavation. It may be possible to use the remaining structural elements of the Rialto Cinema as a public engagement tool. Publication of the findings, in particular how these relate to the excavations which have taken place on surrounding sites over the past 40 years, will then occur.

Design

5.21 NPPF paragraph 130 sets out design considerations. In addition paragraph 131 now emphasises the importance of trees in urban environments. Paragraph 130 advises developments should -

- a) function well and add to the overall quality of the area over the lifetime of the development;
- b) be visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) be sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

5.22 In respect of design the application was previously deferred to give further consideration to servicing arrangements, public safety and accessibility

Servicing

5.23 The reception has been relocated to the south side of the site (adjacent the Blue Bridge Lane entrance) to accept deliveries. There is car parking immediately outside the entrance. Any deliveries or drop-off can take place on Blue Bridge Lane (parking is permitted for 1 hour between 8:00 and 18:00). Such activity could not be

accommodated on Fishergate without detriment to the existing pedestrian and cyclist facilities. This arrangement does not give rise to noise concerns. The entrance gate is some 12m from Fishergate and over 20m from the nearest dwellings. There also remains a site access onto Fishergate, which would be the most convenient access for residents go to/from the city centre via Fishergate.

5.24 Servicing/deliveries can utilise the existing car parking spaces on Blue Bridge Lane. Operationally such activity will occur throughout the day and not be in direct conflict with school drop-off / collection; a time when residents advise traffic causes congestion on the street, and difficulties for residents leaving Fishergate House. There is no evidence from other operational student developments that day to day servicing results in a high number of traffic movements that give rise to an unacceptable impact on highway safety, or residual cumulative impacts on the road network that would be severe, which is the test in NPPF paragraph 111. The applicants Transport Assessment predicts no more than 10 vehicle movements associated with parcel deliveries and servicing each day. The existing car park and servicing access to the site is via Blue Bridge Lane and William Court. It is a material consideration that traffic generation will be significantly lower when comparing the previous use of the site (and also the suggested alternative uses) to the proposed use.

Accessibility

5.25 The accessible rooms have been relocated to adjacent core 3, which is closest to the car parking spaces. There is now an entrance into the building adjacent the car parking. That access would be restricted to only those in the accessible rooms. The requirement to provide accessible rooms is controlled through building regulations. In this case Part M volume 2 (which includes measures relevant to student accommodation). This is separate legislation the development is required to comply with.

5.26 The scheme is NPPF compliant in respect of good design, in respect of its function, provision of amenities, appearance in respect of the local area and it introduces new tree planting, where servicing / drainage storage requirements allow.

5.27 The buildings layout and design has been influenced by the following factors –

- Entrance points located so the majority of activity; comings and goings of occupants is concentrated towards Fishergate.
- Communal uses on the wing of the building facing Fishergate to provide a more active frontage. This also enables a communal space looking onto the larger landscaped courtyard.
- Detailed pre-application discussions with the Council's Design and Conservation team have informed the buildings scale and form, which respects the areas prevalent character.

- Cycle storage has been re-organised so trees can be accommodated and landscaping is more prominent in the north courtyard, both in terms of resident's outlook and in views from Fishergate.
- The location, orientation and size of windows have all been carefully considered to avoid overlooking surrounding properties at William Court and Fishergate House.

5.28 The scheme includes a mix of studio rooms and cluster flats (the largest cluster has 13 bedrooms, although all but two of the clusters have fewer than 10 bedrooms). Given the mix of accommodation types, and the provision and variety of communal space for all residents at ground level and in the courtyard there is adequate amenities within the scheme. The internal communal facilities provide over 300 sq m floor space.

5.29 Fire strategy – a dry riser system is proposed to be installed in the cores (staircase areas) this allows fire-fighting to be undertaken within the building if required. On this basis tenders only need to gain access within 18m of each dry riser as set out in BS 9991 (fire safety in design). This provision is achieved in the proposed scheme.

5.30 The appearance of the scheme; the buildings and landscaping and how it respects the local area is set out in the section on Heritage Assets. The scale, form and materials of the building better respect the area compared to the site in its existing condition. The scheme is also beneficial in providing landscaped areas, which will be visible from Fishergate and Blue Bridge Lane.

5.31 The proposed condition related to site management will cover secure by design measures. In particular the presence of on-site security, access control and CCTV coverage of the cycle store areas.

Sustainable design

5.32 Local requirements for buildings in terms of addressing climate change are eLP 2018 policies CC1 and CC2, which seek to secure enhancements over the 2013 Building Regulations. New buildings are expected to have a dwelling emission rate (DER) that is a 28% improvement over the 2013 regulations.

5.33 A reduction of 28.22% over a baseline building has been estimated to be achievable, through incorporating combined heat and power (CHP), photovoltaics, a variable refrigerant flow (VRF) system for heating and cooling amenity spaces, and mechanical ventilation and heat recovery (MVHR). The local requirement can be secured through planning condition.

Biodiversity

5.34 The NPPF states decisions should contribute to and enhance the natural and local environment by minimising the impacts on, and providing net gains for biodiversity and recognising the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.

5.35 Net gain would be achieved as a consequence of the additional areas of soft landscaping proposed on-site. A condition is also proposed to provide habitats for bats and birds within the building fabric.

Neighbours amenity

5.36 Paragraph 130 of the NPPF states that developments should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users. Para. 185a states planning decisions should *“mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development – and avoid noise giving rise to significant adverse impacts on health and the quality of life”*

Sub-station

5.37 One of the deferral reasons previously was in relation to the sub-station. The building would have no unacceptable impact on neighbours living conditions for the reasons set out below -

Visual impact

- The sub-station building would be 3m from the boundary with William Court. It would be 2.8m to 3m high, with a sloping roof. A green roof is now proposed. The boundary fence to 25 William Court is some 1.8m high. Due to the separation distances involved and height of the proposed building it would not be over-bearing or over-dominant.

Noise

- The sub-station specific noise assessment provided sets out noise from each sub-station and the attenuation measures. It considers noise from all equipment in the sub-stations. British Standard BS 8233:2014 'Guidance on Sound Insulation & Noise Reduction for Buildings' recommends maximum LAeq (average) noise levels of 50dB in gardens and 30dB in bedrooms at night-time. The assessment concludes that noise levels from the sub-station would be 28dB in the garden of 25 William Court. This is a reasonable level, based on national standards, regardless of existing background noise levels. NPPF para. 185a is complied with; there would be no significant adverse impact. The applicants have confirmed louvres on the building can be located so not on the elevation facing the side boundary with William Court. This can be secured through condition.

Magnetic fields

The energy networks association advice on such is as follows – *“Small electricity distribution substations, typically one for every few hundred homes, generally produce up to 2 microteslas close to their perimeter fence or wall, and often no electric field at all. The fields fall rapidly with distance, and within 1 to 2 metres from a typical substation, the fields associated with it are usually indistinguishable from other fields present in homes. Larger electricity transmission substations do not produce very large fields themselves (generally less than a microtesla); the fields close by are mainly produced by power lines and cables entering them. There is no restriction on EMF grounds on how close houses can be to substations”.*

William Court

5.38 The rear of the north wing of the proposed building was moved further away from the west boundary in revised plans. The separation is 10.7m between the end elevation and the boundary with the rear garden of 25 William Court.

5.39 The separation between the proposed building and neighbouring rear garden is the same as that between the front elevation of 18 William Court and the rear garden to 19 William Court. The upper floor windows on the proposed building in this area have also been orientated so only a narrow section of the window (some 34cm wide) looks towards the neighbour's garden. The section of the building opposite the side elevation of 25 is closer, around 9.5m from the boundary. There are only two small secondary windows in the side elevation on no.25. The neighbour is an end of terrace house; the main windows are to the front and rear. As the scale of buildings would not be significantly different (the ridge of the proposed building is just under 1m taller than the neighbour), the separation distances comparable to elsewhere on William Court, and given the window design, the proposed development, reflects local conditions and would not be unduly overbearing or over-dominant.

5.40 At the south end of the site windows on the proposed building are also orientated to look away from rear gardens and towards either the side elevation of buildings or more public streets and spaces. The proposed building will be setback from the footpath edge, behind a strip of landscaping. The ridge level of the proposed front gables are under 1m higher than the ridge levels of housing at William Court. There would not be undue overlooking. In terms of building scale and proximity there is not a material difference, to the extent that amenity is affected, between the existing and proposed buildings on-site.

Fishergate House

5.41 The building footprint is predominantly set away from Blue Bridge Lane as the main courtyard garden is on the south side of the site. The proposed building is far less oppressive compared to the existing. There are only two ends of the east and west wings that extend to the boundary. The primary windows on these wings look east / west and not towards Fishergate House. Only at the south-east corner is there a living room with a large south facing window. The windows architecturally help address what is a prominent corner. They would overlook a shared communal space

but have no adverse amenity effect on the dwelling to the south which is some 25m away.

Fewster way

5.42 The north wing of the building will be approximately 21m from the side elevation and garden of the nearest house at Fewster Way. This is reasonable in respect of amenity.

Building services noise

5.43 The plant room enclosures will be capable of attenuating any plant noise. This will be covered through condition. Separation distances between sub-stations and residential accommodation are recommended to be 3m and this is achieved.

5.44 A condition is recommended regarding on-site management and operation of the development in respect of avoiding noise disturbance.

Highway safety and sustainable travel

5.45 The NPPF states that in assessing applications it should be ensured that:

- Opportunities to promote sustainable transport included where appropriate.
- Safe and suitable access to the site can be achieved for all users.
- Any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.

5.46 The NPPF states “Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

5.47 Given the type of development proposed, and its location, an essentially car free development accords with the NPPF policies and objectives. It is also consistent with the approach taken at other city centre sites with purpose built student accommodation, which have successfully integrated into the locality. Car parking provision (5 spaces) is for accessible parking and to accommodate a space for the car share / car club only. There will be an electric vehicle charging facility also.

Travel Plan

5.48 A full travel plan, prepared in accordance with national guidance, setting ongoing monitoring / targets will be required through condition. The purpose of the travel plan will be to encourage sustainable travel. A contribution has been agreed for the Council to provide input to the Travel Plan over its lifetime and ensure it is appropriate in respect of targets, monitoring, and implementation.

Cycle storage

5.49 The cycle facilities are shown on drawing 2101-GWP-01-00-DR-A-(PA)-0055_PA15. Provision is around 61%, with 5% for over-sized cycles, plus 14 visitor spaces. The amount is adequate, based on monitoring of cycle provision use at other in-use student developments. One of the stores can now be accessed directly from William Court and there would be 20 spaces in the south courtyard with access via Blue Bridge Lane. The type of storage proposed is acceptable, and is all set out to manufacturer's recommendations; there is space on site for extra provision if needed.

Waste collection

5.50 The waste collection point and access for servicing / maintenance has been tracked to show appropriate vehicles can access. It is acceptable on highway safety grounds.

Drop-offs

5.51 Space for drop-offs (for example taxis) is provided for on Blue Bridge Lane under existing highways arrangements. The main access and reception is now on the Blue Bridge side of the site.

Car parking

5.52 There are other purpose built student accommodation schemes of a similar location and scale to as proposed which have been in operation for some time now. There is no compelling evidence that these have an adverse effect on the highway network. A condition is however proposed that through the operator students are made aware they cannot bring cars to site and there will be measures to be agreed in respect of addressing any safety issues of students parking in surrounding streets that may arise.

Fishergate

5.53 The developer will fund amendments to existing restrictions in front of the site on Fishergate to ensure no stopping / waiting at any time. This is considered necessary in the interests of all users of the highway.

Construction management

5.54 The construction management plan provided advises that measures will be in place during construction so delivery vehicles will not attend site between the hours of 8.15am-9am or 14:45- 16:00, to avoid the beginning and end of the school day.

Beginning / end of term

5.55 For the beginning and end of term arrangements a management plan has been issued. The plan confirms marshals will be employed to supervise the locality on moving days, which will be phased over two weekends. Students will need to book a 20 minute moving in slot (therefore using the 5 spaces on site 15 arrivals per hour could be accommodated).

Public protection

5.56 Section 15 of the NPPF, regarding the natural environment advises that planning decisions should contribute to the natural and local environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution. Paragraph 186 states opportunities to improve air quality or mitigate impacts should be identified, such as through traffic and travel management, and green infrastructure provision and enhancement.

Land contamination

5.57 Standard conditions are proposed for a site investigation, to inform a remediation strategy and for evidence the remediation has been successful.

Noise

5.58 A noise impact assessment has been undertaken to inform local noise conditions. This provides comfort that by design future residents will experience reasonable noise levels. Conditions are proposed to secure such construction and also that plant / machinery (including the sub-stations) will not have an adverse effect on neighbours. Refer to section on resident's amenity for further commentary on the sub-station.

Construction management

5.59 A construction management plan (CEMP) has been submitted and is considered broadly acceptable by Public Protection. Officers have asked only for an update in terms of the air quality measures within the scheme, to reflect the impacts and mitigation identified in the applications air quality assessment. This can be dealt with, through an update to the CEMP prior to determination of the application alternatively through condition.

EV parking

5.60 A condition is recommended to require electric vehicle charging points in accordance with the Council's Low Emission Strategy.

Air quality

5.61 The application is supported with a technical air quality assessment, it has been reviewed by the Council's Public Protection Team and deemed acceptable. The assessment determines impacts during the construction phase, mitigation is recommended and will be secured through planning condition. Operational impacts has been determined as negligible / not significant. Further to the assessment there are benefits as a consequence of the scheme. There are currently 128 car parking spaces on site. This would be reduced to 5 parking spaces, which will include electric vehicle charging points and a space for a car club vehicle. The site is currently all developed significantly, with buildings or hard-standing for parking. The amount of soft landscaping and number of trees on-site will increase.

Drainage and flood risk

5.62 The NPPF in paragraph 167 establishes that when determining any planning applications, flood risk elsewhere should not be increased and sustainable drainage systems be incorporated, unless there is clear evidence that this would be inappropriate. The local approach following the NPPF, in policy ENV5, is that existing surface water rates are evidenced and reduced by 30%. It also applies the sustainable drainage hierarchy.

5.63 Following the sustainable drainage hierarchy connection into the sewer is proposed. Site investigation has determined that soakaways would not perform adequately and direct connection into a watercourse is not achievable. The run-off rate proposed, and agreed with Yorkshire Water, is 27.5 litres / sec. The run-off rate would exceed the local requirement in ENV5; it would reduce the existing run-off rate by over 30%.

5.64 The site is outside of Flood Zones 2 and 3. The development is therefore appropriate in terms of flood risk and NPPF paragraph 159 which seeks to direct development away from areas at the highest risk (of flooding).

6.0 CONCLUSION

6.1 The NPPF establishes the need to take a positive approach to decision-making and the significant weight given to economic growth. Having regard to the statutory duties in sections 66 and 72 of Listed Buildings and Conservation Areas Act, the development would not harm the setting of any designated heritage assets. Archaeological interests can be appropriately maintained through recording. There are no policies in the NPPF that protect assets of particular importance which provide a clear reason for refusing the development in this instance. Therefore the presumption in favour of development applies in this case; that, as stated in NPPF Paragraph 11d, planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole.

6.2 The bingo hall closed as it was unviable and the operator declined to renew their lease. Officer's advice is the permanent loss of the facility does not outweigh the benefits of the proposed use. There is demonstrable need for the proposed development; which must be given substantial weight in decision-making as stated in NPPF paragraph 120 and decisions must be made in accordance with the presumption in favour of sustainable development in NPPF paragraph 11d.

6.3 The scheme is considered an improvement over the existing site in terms of how it respects local character. There would be no undue effect on neighbours' amenity

and adequate amenities for future occupants. Technical matters can be addressed, to achieve policy compliance, through conditions in respect of sustainable design and construction, biodiversity, drainage, archaeology, the highway network and ground conditions and pollution.

6.4 Consequently, applying NPPF paragraph 11d, it is considered that there are no adverse impacts which significantly or demonstrably outweigh the benefits of the proposal, when assessed against the policies in the NPPF as a whole. It is therefore concluded that the proposal represents sustainable development and that permission should be granted in accordance with the presumption in favour of sustainable development.

6.5 Approval is recommended subject to conditions and a Section 106 agreement for the following –

- Traffic Regulation Orders (£6,000) to provide for - amending existing waiting restrictions on Fishergate to 'No waiting and no Loading at any time'.
- Travel Plan support (£25,000 (£5,000 per year)) – for the Council to provide input and ensure the travel plan is implemented reasonably over a 5-year period following occupation.

7.0 RECOMMENDATION: Approve subject to conditions and a Section 106 agreement for the following –

- Traffic Regulation Orders (£6,000)
- Travel Plan support (£25,000)

1 TIME2 Development start within three years

2 The development hereby permitted shall be carried out in accordance with the following plans and other submitted details:-

Drawings 451 2101 GWP-

Location Plan

01 XX DR A PA 0001 PA02

Demolition Plan

01 XX DR A PA 0003 PA02

Site Plan

01 XX DR A PA 0010 PA16

Floor Plans

01 00 DR A PA - 0012 PA17, 0013 PA12, 0014 PA12, 0015 PA14, 0016 PA14

Elevations

01 XX DR A PA - 0020 PA13, 0021 PA13, 0022, PA10, 0023 PA10, 0024 PA10

Sections

01 XX DR A PA - 0031 PA06, 0032 PA06

Details

01 XX DR A PA - 0040 PA04, 0041 PA06, 0042 PA04, 0043 PA04

Sub-station

01 00 DR A PA 0050 PA10

Cycle provision

01 00 DR A PA 0055 PA15

Landscaping proposals by encon drawing A5102 01 rev J

Tree Protection Plan DR-5473-02 by Brooks Ecological (contained in Arboricultural Impact Assessment)

Construction management plan

Waste management strategy by Curtins revision V03.

Student Traffic Management Plan 078912-CUR-00-XX-RP-TP-004-V04_TS revision V04

Reason: For the avoidance of doubt and to ensure that the development is carried out only as approved by the Local Planning Authority.

- 3 HWAY40 Dilapidation survey
- 4 NOISE7 Restricted hours of construction
- 5 Construction Management

The construction of the development hereby permitted shall be carried out in full adherence with the construction management plan revision A dated 19.5.2021.

Reason: To minimise the impact on residential amenity and the highway network

during construction, in accordance with NPPF paragraphs 110, 130 and 185.

6 Archaeology

A programme of post-determination archaeological mitigation initially an archaeological strip of the site followed by a level of excavation is required.

- a) No intrusive investigation or development shall commence until an Archaeological Remains Management Plan (ARMP) has been submitted to and approved by the local planning authority in writing. For land that is included within the ARMP, no intrusive investigation or development shall take place other than in accordance with the agreed ARMP.
- b) The initial site investigation shall be completed in accordance with the programme set out in the ARMP approved under (A). The ARMP will be updated accordingly with a full mitigation strategy.
- c) The site investigation and post-investigation assessment shall be completed in accordance with the programme set out in the approved ARMP and the provision made for analysis, publication and dissemination of results and archive deposition will be secured. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the ARMP.
- d) A copy of a report and evidence of publication shall be deposited with City of York Historic Environment Record to allow public dissemination of results within 6 months of completion or such other period as may be agreed in writing with the Local Planning Authority.

Reason: In accordance with Section 16 of NPPF as the site lies within an Area of Archaeological Importance and the development will affect important archaeological deposits which must be preserved in-situ or recorded prior to destruction.

7 Drainage - existing infrastructure

No development shall commence until measures to protect the public sewerage and water supply infrastructure that is laid within/adjacent to the site boundary have been implemented in accordance with details that have been submitted to and approved by the Local Planning Authority (in consultation with the statutory undertaker).

The details shall include -

- The means of ensuring that access to the pipe(s) for the purposes of repair and maintenance by the statutory undertaker shall be retained at all times.
- If the required stand-off or protection measures are to be achieved via diversion or closure of the sewer(s) or water main(s), the developer shall submit evidence to the Local Planning Authority that the diversion or closure has been agreed with the relevant statutory undertaker and that, prior to construction in the affected area, the

approved works have been undertaken.

Reason: Required prior to commencement in the interests of public health and maintaining the public sewerage and public water networks (maintained by Yorkshire Water), in accordance with sections 12 and 15 of the NPPF.

8 On-site drainage

The site shall be developed in accordance with the drainage strategy as detailed in the Tier Consult report dated May 2021. Surface water will discharge via storage with a restricted discharge of 27.5 (twenty seven point five) litres per second.

Prior to development (excluding demolition) full details of the site drainage shall have been submitted to the Local Planning Authority and approved in writing. The development shall be carried out in accordance with the approved details.

Details shall include -

- Consideration must be given to the use of soakaways. Discharge to the public sewer shall only be permitted if it can be evidenced soakaways are unsuitable (through an appropriate assessment carried out under BRE Digest 365).
- Storage volume calculations, using computer modelling, which must accommodate a 1:30 year storm with no surface flooding, along with no internal flooding of buildings or surface run-off from the site in a 1:100 year storm. Proposed areas within the model must also include an additional 30% allowance for climate change. The modelling must use a range of storm durations, with both summer and winter profiles, to find the worst-case volume required.
- Existing and proposed ground levels.
- Future management and maintenance of the proposed drainage scheme.

Reason: In the interests of preventing increased flood risk, as required under NPPF section 15, policy ENV5 of the 2018 eLP and the City of York Council Sustainable Drainage Systems Guidance for Developers.

9 Land contamination - site investigation

Prior to development (excluding demolition) an investigation and risk assessment (in addition to any assessment provided with the planning application) shall be undertaken to assess the nature and extent of any land contamination. The investigation and risk assessment must be undertaken by competent persons. A written report of the findings shall be produced, submitted to and approval in writing of the Local Planning Authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination (including ground gases where appropriate);

- (ii) an assessment of the potential risks to:
 - human health,
 - property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
 - adjoining land,
 - groundwaters and surface waters,
 - ecological systems,
 - archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and proposal of the preferred option(s).

This shall be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

10 Land contamination - remediation

Prior to development (excluding demolition), a detailed remediation scheme to bring the site to a condition suitable for the intended use (by removing unacceptable risks to human health, buildings and other property and the natural and historical environment) shall be submitted to and approved in writing of the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

11 LC3 Land contamination - remedial works

Prior to first occupation or use, the approved remediation scheme shall be carried out in accordance with its terms and a verification report that demonstrates the effectiveness of the remediation carried out must be produced and is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land

and neighbouring land are minimised, together with those to controlled waters, property and ecological systems.

12 LC4 Land contamination - unexpected contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

13 Sustainable design and construction

Prior to commencement of construction of the development details of the proposed building design, to reduce carbon emissions, shall be submitted to the local planning authority and approved in writing. The development shall be carried out in accordance with the approved details.

The details shall evidence either a reduction in carbon emissions of at least 28% compared to the target emission rate as required under Part L of the Building Regulations 2013 or compliance with any approved Part L document dated 2021 or thereafter.

Reason: To fulfil the environmental objectives of the NPPF and support the transition to a low carbon future, and in accordance with policy CC2 of the Publication Draft Local Plan 2018.

14 Materials

Manufacturer's details of the external materials to be used shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the construction of the development. They shall be made available for review on-site, at the discretion of the Local Planning Authority. The development shall be carried out using the approved materials.

Sample panels of the brickwork to be used shall be erected on the site and shall

illustrate the colour, texture and bonding of brickwork/ stonework and the mortar treatment to be used, and shall be approved in writing by the Local Planning Authority prior to the commencement of building works within that phase. These panels shall be retained until a minimum of 2 square metres of wall of the approved development has been completed in accordance with the approved sample.

Reason: In the interests of good design, in accordance with section 12 of the NPPF.

15 Large scale details

Details of the items listed below shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of construction of the development and the works shall be carried out in accordance with the approved details.

- a) Typical sections at 1:20 or 1:10
- b) Boundary treatment
- c) Cover to external cycle store

Reason: In the interests of good design, in accordance with section 12 of the NPPF.

16 Noise

Prior to commencement of construction of the development a detailed scheme of noise insulation measures for protecting the approved student accommodation rooms from externally generated noise shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be carried out in accordance with the approved details.

The scheme shall demonstrate that the building envelope of all residential accommodation shall be constructed so as to achieve internal noise levels in habitable rooms of no greater than 35 dB LAeq (16 hour) during the day (07:00-23:00 hrs) and 30 dB LAeq (8 hour) and LAFMax level during the night (23:00-07:00 hours) should not exceed 45dB(A) on more than 10 occasions in any night time period in bedrooms and should not regularly exceed 55dB(A). These noise levels shall be observed with all windows open in the habitable rooms or if necessary windows closed and other means of ventilation provided.

Reason: To protect the amenity of people living in the new property from externally generated noise and in accordance with the National Planning Policy Framework paragraph 130.

17 Landscaping scheme

Prior to first occupation of the development hereby permitted the approved

landscaping scheme, as shown on drawing Landscaping proposals by encon drawing A5102 01 rev J, and on the approved sub-station and site plan drawings shall have been fully completed.

Any trees or plants which die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species, unless alternatives are agreed in writing by the Local Planning Authority. The areas of landscaping, as shown on the approved plans, shall be maintained as such at all times.

Reason: So that the Local Planning Authority may be satisfied with the variety, suitability and disposition of species within the site in the interests of amenity, good design and the character and appearance of the conservation area.

18 Bat habitat

Prior to first occupation or use of the development four integrated features providing roosting facilities for bats shall be constructed within the fabric of the new building, and four boxes for nesting birds.

Reason: To take account of and enhance the biodiversity and wildlife interest of the area, and to be in accordance with Paragraph 174 d) of the NPPF.

19 Provision of servicing areas, cycle storage and making good of the highway

Prior to first occupation of the development hereby permitted the areas shown on the approved plans for parking and manoeuvring of vehicles and cycle parking facilities shall have been constructed and laid out in accordance with the approved plans, and all existing vehicular crossings not shown as being retained on the approved plans shall have been removed by reinstating the kerb; to match adjacent levels. Thereafter all such servicing areas shall be retained solely for such purposes.

Reason: In the interests of highway safety and good design, in accordance with sections 9 and 12 of the NPPF.

20 Plant and machinery

The combined rating level of any building service noise associated with plant or equipment at the site shall not exceed the representative LA90 1 hour during the hours of 07:00 to 23:00 or representative LA90 15 minutes during the hours of 23:00 to 07:00, measured at the site boundary with any neighbouring dwelling, when assessed in accordance with BS4142: 2014, inclusive of any acoustic feature corrections associated with tonal, impulsive, distinctive or intermittent characteristics.

Reason: To protect the amenity of nearby properties and the environmental qualities

of the area, in accordance with the National Planning Policy Framework paragraph 130.

21 Electric vehicle charging facilities

Prior to first occupation of the development hereby permitted a minimum of 1 Electric Vehicle Recharging Point shall be provided on site which is accessible from the approved car parking spaces. The charging point shall incorporate a suitably rated 32A 'IEC 62196' electrical socket to allow 'Mode 3' charging of an electric vehicle.

In addition, a minimum of 1 additional parking bay shall be identified for the future installation of additional Electric Vehicle Charging Point. This additional bay shall be provided with all necessary ducting, cabling and groundwork to facilitate the addition of Electric Vehicle Charge Points in the future, if required (passive provision).

The Electric Vehicle facilities shall be retained thereafter and reasonably maintained at all times and be available for the charging of electric vehicles.

Reason: To promote and facilitate the uptake of electric vehicles on the site in line with the Council's Low Emission Strategy (LES) and NPPF paragraph 112.

22 Site security

Prior to first occupation of the development hereby permitted a scheme detailing site security measures shall be submitted to and approved by the Local Planning Authority. The development shall operate in accordance with the approved details. The scheme shall detail -

- Access control measures at the site and into cores within the building.
- CCTV coverage for the cycle stores
- Access restriction measures to ground floor windows

Reason: In the interests of good design, in accordance with NPPF section 12.

23 Site and student management plan

Prior to first occupation of the development hereby permitted a site and student management plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall at all times be managed and occupied in full accordance with the approved site and student management plan. The plan shall include the following details -

- Measures to prohibit student parking on or in the vicinity of the Site (save for temporary parking arrangements in accordance with the move-in procedure).
- Imposition of tenancy restrictions to prevent student tenants being a keeper of or

in control of a car within 400m of the Site and measures taken to enforce such restriction, including annual parking surveys in the surrounding area.

- Maintenance of servicing and waste collection facilities.
- Provision of staff on-site.
- Strategy for dealing with any complaints from the public.
- Measures to ensure on-site staff will monitor excessive noise and raise issues with residents.
- That the student tenancy agreements include clauses relating to anti-social behaviour.

Reason: In the interests of the amenity of local residents and highway safety, in accordance with NPPF sections 110 and 130.

24 Travel Plan

Within six months of first occupation of the development hereby permitted a Full Travel Plan, prepared by the site operator shall be submitted to the Local Planning Authority for approval in writing. The site shall thereafter be occupied in accordance with the aims, measures and outcomes of said Travel Plan as approved.

The plan shall adhere to National Planning Policy Guidance, in providing objectives, monitoring and meeting the identified objectives. It shall include details of the Travel Plan co-ordinator and details for monitoring cycle usage and providing extra facilities subject to demand. Results of annual travel surveys shall be submitted annually to the authority's travel plan officer for approval.

Reason: To ensure that traffic flows from the site can be safely accommodated and to promote the usage of sustainable means of transport.

25 Student accommodation only

The development hereby approved shall be occupied only for the purposes of student accommodation by either students engaged at all times in full-time or part-time further or higher education courses within the City of York administrative boundary or by delegates at all times attending courses or conferences within the City. The operator of the development shall keep an up to date register of the name of each person in occupation of the development together with course(s) or conference(s) attended, and shall make the register available for inspection by the local planning authority on demand at all reasonable times.

Reason: In order to control the future occupancy of the development in the event of it any part of it being sold or rented on the open market without securing adequate levels of affordable housing, in accordance with Policy H7 of the 2018 Publication Draft Plan.

26 Use of car parking spaces

The parking spaces within the site shall only be used for the following activities -

- Charging of electric vehicles
- Accessible parking
- As a space for use by city car club vehicles (or similar car share arrangement)
- Any temporary parking required in association with the servicing or maintenance of the development hereby permitted, or at the beginning/end of term time, as specified in the Student Traffic Management Plan (as referred to in condition 2).

Reason: In the interests of promoting sustainable travel and accessibility.

27 Communal uses

The development hereby permitted shall include the whole of the amenity space and facilities for occupants, in accordance with the approved floor plans, and retain them as such at all times.

Reason: In the interests of good design and amenity.

28 No gate, door or other opening shall be fitted so as to open outwards over the adjacent public highway.

Reason: To prevent obstruction to other highway users.

29 Sub-station

The sub-station(s) hereby permitted shall be spaced at least 3 metres from the side boundary shared with 25 William Court, as shown on Sub-station drawing 01 00 DR A PA 0050 PA10. There shall be no louvres on the west elevation of the sub-station.

The combined noise level of the sub-station buildings and all associated plant shall not exceed 28dB(A) when measures at the site boundary with William Court (as defined in the Substation noise assessment dated 17.12.2021)

Reason: In the interests of neighbours amenity, in accordance with NPPF paragraph 130.

8.0 INFORMATIVES:

Notes to Applicant

1. STATEMENT OF THE COUNCIL'S POSITIVE AND PROACTIVE APPROACH
In considering the application, the Local Planning Authority has implemented the requirements set out within the National Planning Policy Framework (paragraph 38)

in seeking solutions to problems identified during the processing of the application. The Local Planning Authority took the following steps in order to achieve a positive outcome: sought amended plans to address issues regarding design and through the use of planning conditions.

2. LEGAL AGREEMENT

Your attention is drawn to the existence of a legal obligation under Section 106 of the Town and Country Planning Act 1990 relating to this development

3. INFORMATIVE:

You are advised that this proposal may have an affect on Statutory Undertakers equipment. You must contact all the utilities to ascertain the location of the equipment and any requirements they might have prior to works commencing.

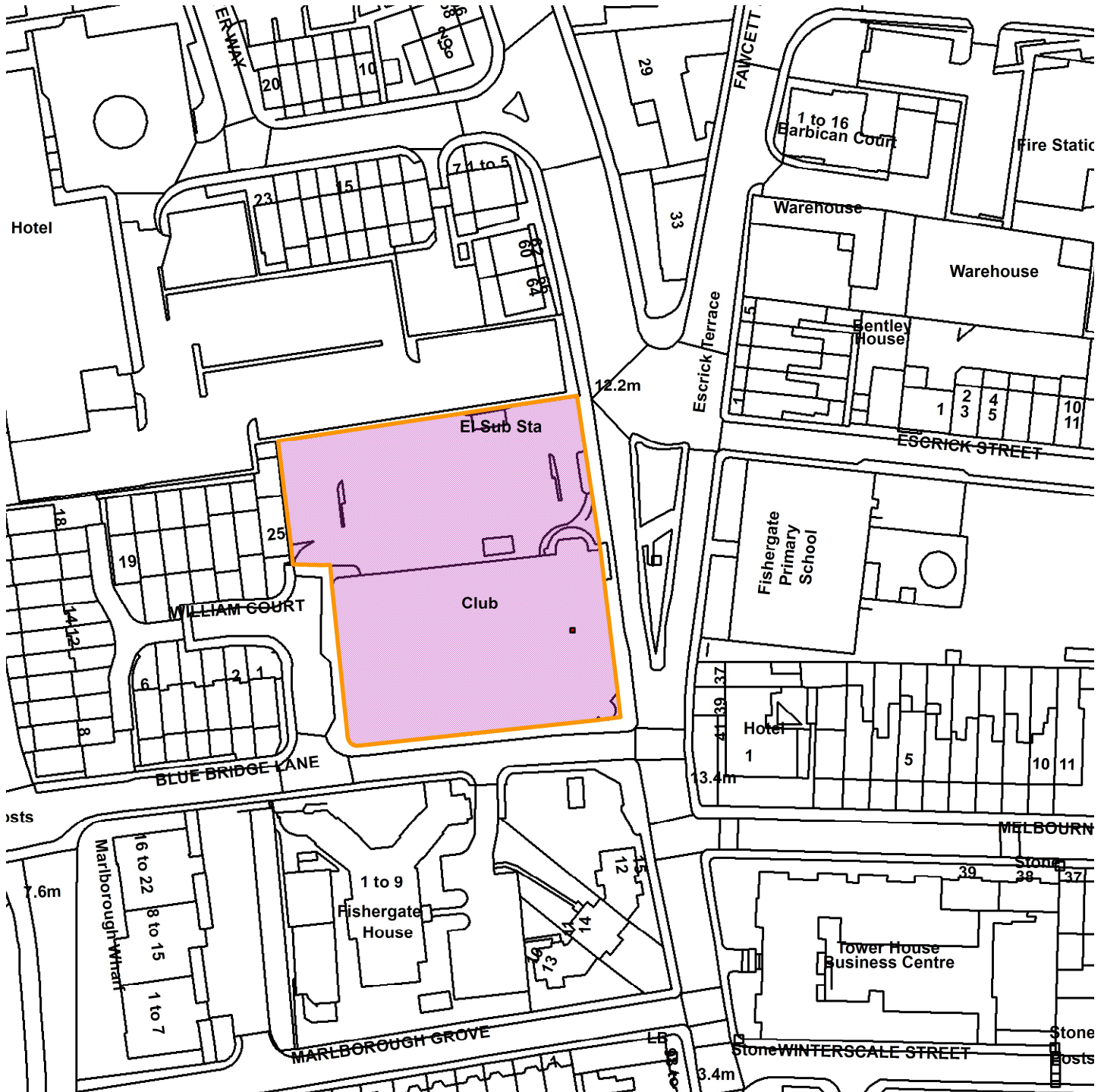
Contact details:

Case Officer: Jonathan Kenyon

Tel No: 01904 551323

Mecca Bingo, 68 Fishergate, YO10 4AR

21/01605/FULM



Scale : 1:1192

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Organisation	City of York Council
Department	Directorate of Place
Comments	Site Location Plan
Date	24 January 2022
SLA Number	

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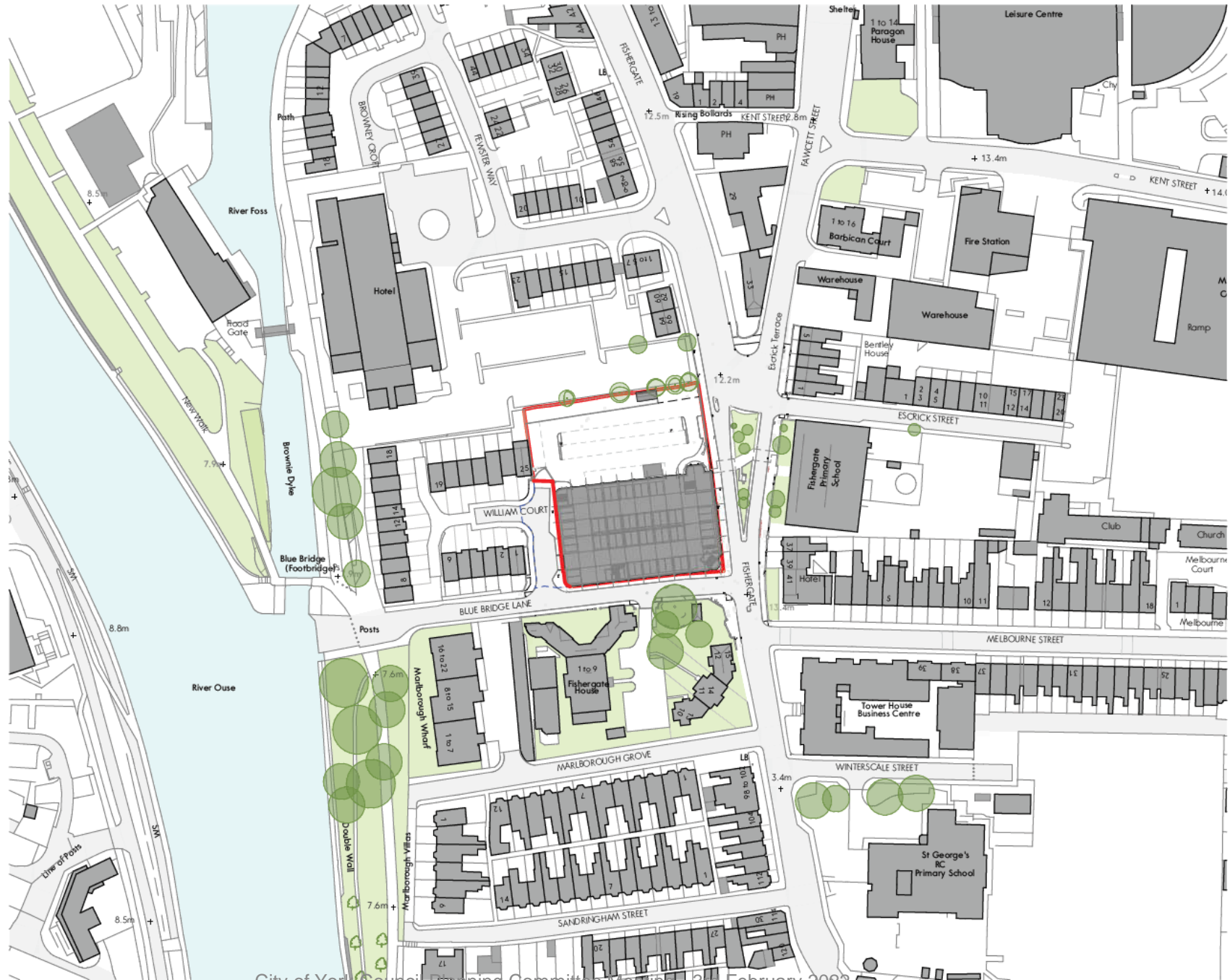
Planning Committee

To be held on Thursday 3rd February 2022

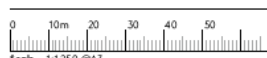
21/01605/FULM - Mecca Bingo, 68 Fishergate, York

Demolition of existing buildings and redevelopment of the site to form 275no. room purpose built student accommodation with associated car parking, landscaping and facilities

Site Location Plan



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Rev	Date	Comment	Dr	Ch
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	First Issue	DE	DT



CHARTERED ARCHITECTS
 REGISTERED DESIGNERS
 OFFICE BUILDINGS
 ARCHITECTS & INTERIORS
 LANDSCAPE ARCHITECTS

Red Lion House, Higher Lane, Leeds LS2 1PQ
 0113 266 0066 (0) 113 266 1009
 architects@gwp-arch.co.uk | www.gwp-arch.com

Job Title: (45)12101
 Rialto House, Fishergate, York

Client: **OLYMPIAN**

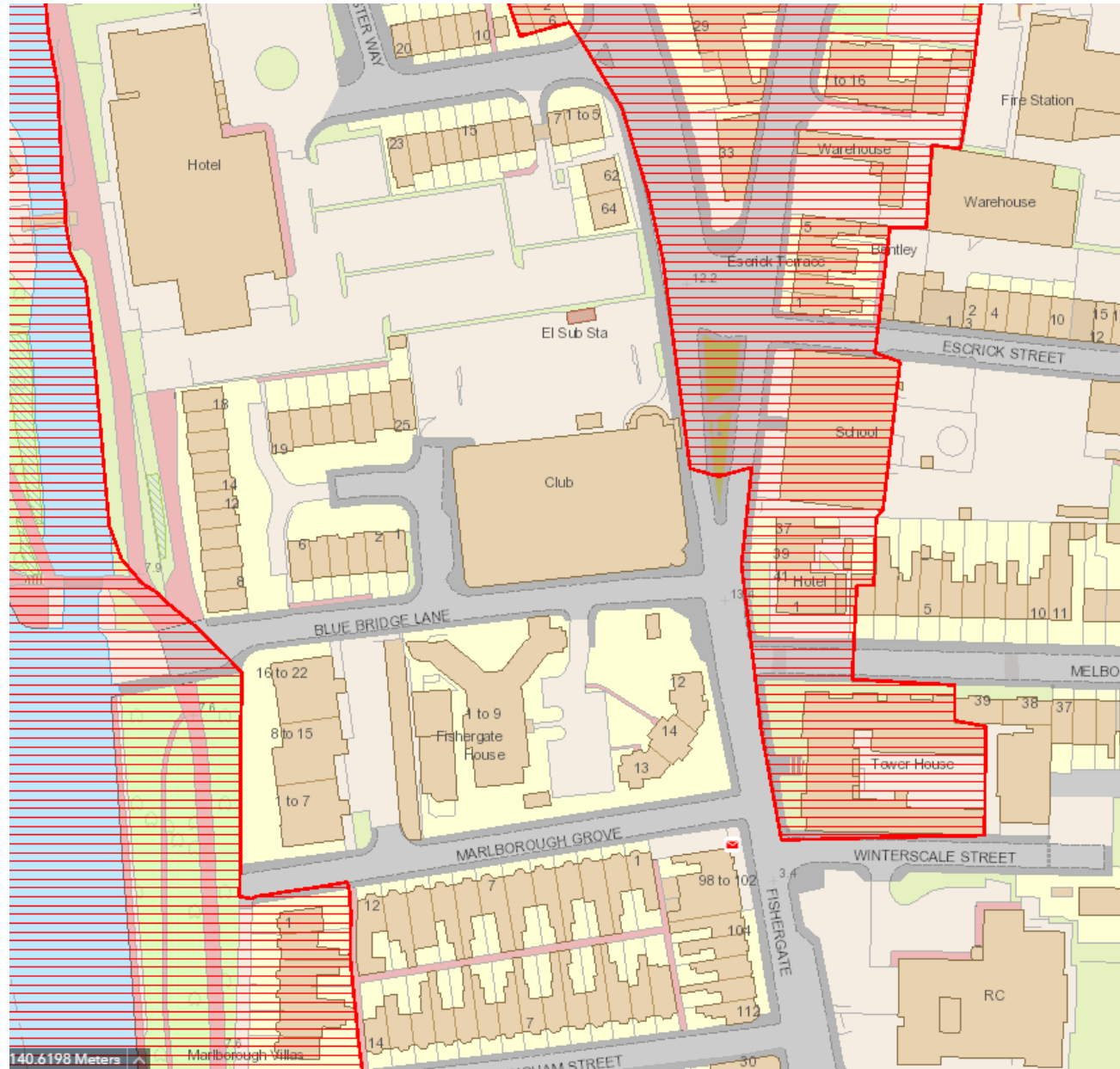
Location Plan

Name	2101-GWP-01-XX-DR-A-(PA)-0001
Scale	1:1250@A3
Revision	PA02
Drawn/Checked	DE/DT
First Issue	18.06.21

Drawing Status: **D - Planning**



Illustration of surrounding Conservation Areas



Blue Bridge Lane



Page 55



Rear Elevation Facing South/William Court



Front, Side and Rear of 25 William Court

Proposed Site Plan



City of York Council Planning Committee Meeting - 3rd February 2022

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Scale: 1:200 (A1)
 Application Site Boundary
 Extent of Site Title

NO.	DESCRIPTION	DATE	BY	CHKD.
1	Issue for Planning	18/01/22	MM	MM
2	Issue for Planning	18/01/22	MM	MM
3	Issue for Planning	18/01/22	MM	MM
4	Issue for Planning	18/01/22	MM	MM
5	Issue for Planning	18/01/22	MM	MM
6	Issue for Planning	18/01/22	MM	MM
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9	Issue for Planning	18/01/22	MM	MM
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49	Issue for Planning	18/01/22	MM	MM
50	Issue for Planning	18/01/22	MM	MM

OLYMPIAN

44512101

Rialto House, Fishergate, York

Proposed Site Plan

2101-GWP-01-00-DR-A-PA0-0010

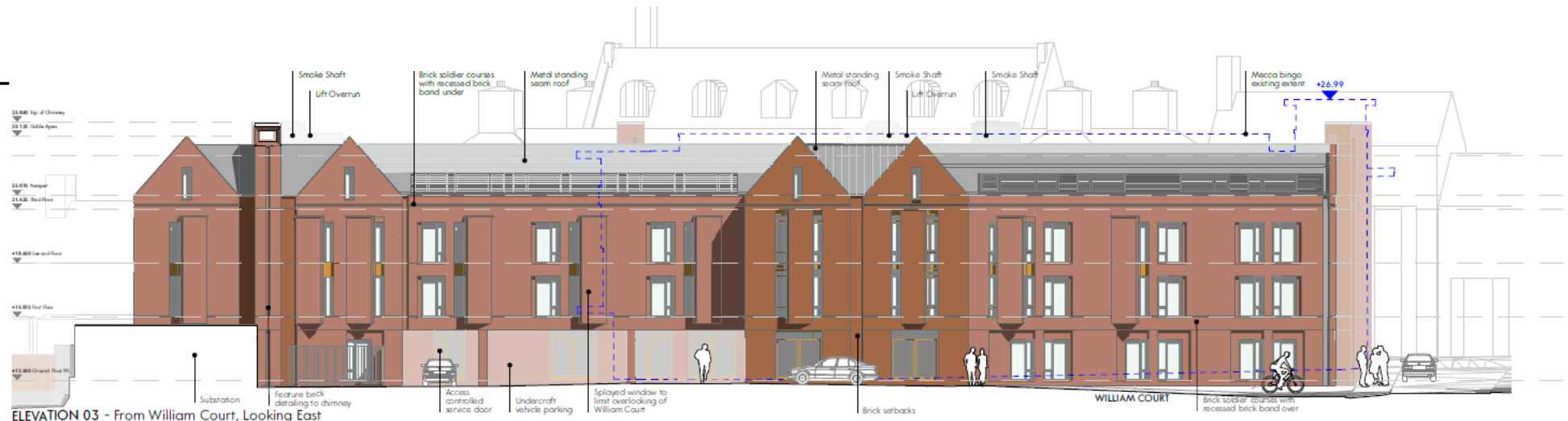
Scale: 1:200 (A1) Revision: PA18

Drawn/Checked by: DE / DT Date Issue: 18.06.21

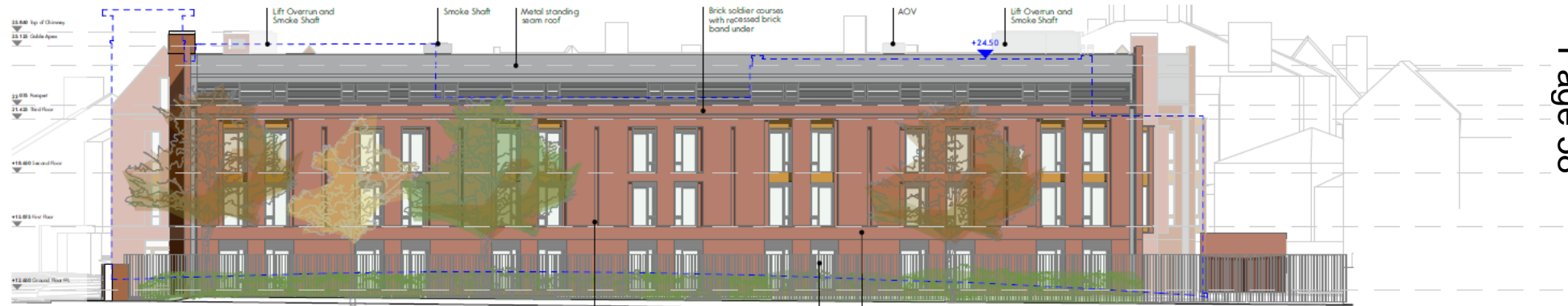
Drawing Scale: D - Planning

Author: JH

Proposed Elevations – North and West



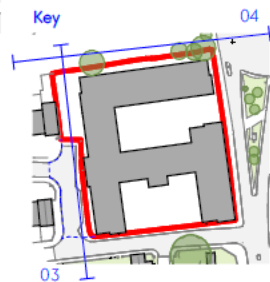
ELEVATION 03 - From William Court, Looking East



ELEVATION 04 - From Novotel Carpark, Looking South

Materials Key

1. Light red multi-brick.
2. Dark red multi-brick.
3. Brass spandrel panel
4. Setback brick panel reveal detail.
5. High performance PPC Aluminium window units, double glazed. External colour to match brass spandrel panel, RAL TBC (white internally).
6. Horizontal louvre. RAL TBC.
7. Standing seam zinc roof. RAL TBC.
8. Vertical metal railing. RAL TBC.
9. Feature horizontal band, Brick Soldier Course and recessed brick band.
10. Steel loured external door. Colour to match windows, RAL TBC.
11. Feature brick chimney. Brick type 1 / 2, as per elevation.
12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
13. Potential location for Public Art. Details TBC.



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0 1m 5m 10m
Scale: 1:200 A3

City of York Council Planning Committee Meeting 3rd February 2022

Rev	Date	Comment	Dr	Chk
PA13	15.12.21	Revised to Planning Comments	DE	DT
PA12	06.12.21	Revised to Planning Comments	DE	DT
PA11	22.11.21	Revised to comments	CT	DT
PA10	05.11.21	Update to metal railing	CT	DT
PA09	04.11.21	Update to metal railing	CT	DT
PA08	05.10.21	Minor graphical amendments	DE	DT
PA07	28.09.21	Revised to comments received Gable required. Substation Amended	DE	DT
PA06	18.08.21	Revised to comments received Substation Amended	DE	DT

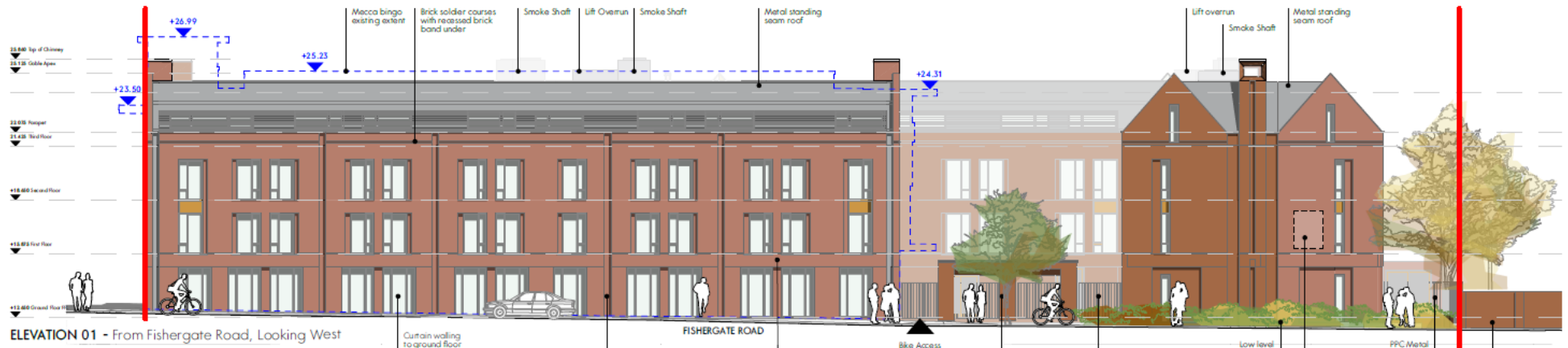
GWP Job Reference: (451)2101
Rialto House, Fishergate, York
Clear

OLYMPIAN

Proposed Elevations 03, 04			
Name	2101-GWP-01-XX-DR-A-(PA)-0021		
Scale	1:200@A3	Revision	PA 13
Drawn/Checked	DE / DT	First Issue	18.06.21
Drawing Status	D - Planning		



Proposed Elevations – East and South

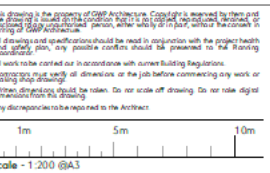
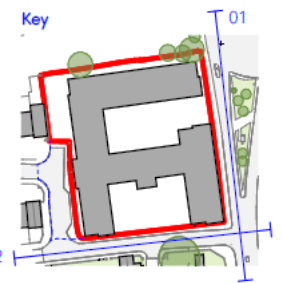


ELEVATION 01 - From Fishergate Road, Looking West



ELEVATION 02 - From Bluebridge Lane, Looking North

- Materials Key**
1. Light red multi-brick.
 2. Dark red multi-brick.
 3. Brass spondrel panel.
 4. Setback brick panel reveal detail.
 5. High performance PPC Aluminium window units, double glazed. External colour to match brass spondrel panel, RAL TBC (white internally).
 6. Horizontal louvre. RAL TBC.
 7. Standing seam zinc roof. RAL TBC.
 8. Feature metal railing. RAL TBC.
 9. Feature horizontal band, Brick Soldier Course and recessed brick band.
 10. Steel louvred external door. Colour to match windows, RAL TBC.
 11. Feature brick chimney. Brick type 1 / 2 as per elevation.
 12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
 13. Potential location for Public Art. Details TBC.



City of York Council Planning Committee Meeting - 3rd February 2022

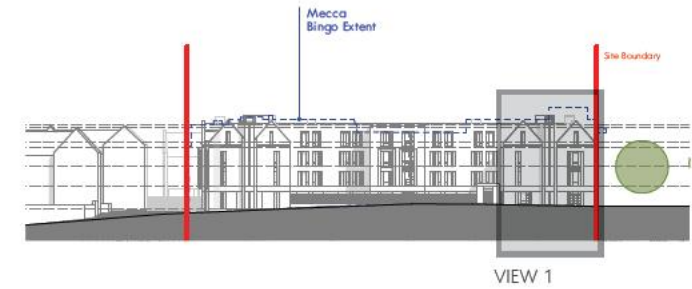
Rev	Date	Comment	Dr	Ch
PA13	15.12.21	Revised to Planning Comments	DE	DT
PA12	06.12.21	Revised to Planning Comments	DE	DT
PA11	22.11.21	Revised to comments	CT	DT
PA10	05.11.21	Landscape revised to comments	CT	DT
PA09	04.11.21	Landscape revised to comments	CT	DT
PA08	05.10.21	Minor graphical amendments	DE	DT
PA07	28.09.21	Revised to comments received. Gable revised. Substation Amended.	DE	DT

GWP Job Reference: (451)2101
 Rialto House, Fishergate, York
 OLYMPIAN

Proposed Elevations 01, 02	
Name	2101-GWP-01-XX-DR-A-(PA)-0020
Scale	1:200@A3
Revision	PA 13
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



Large Scale Details and materials – Fishergate, Blue Bridge Lane corner



Precedents



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Rev	Date	Comment	Dr	Ch
PA06	15.12.21	Revised in line with amendments to elevations	DE	DT
PA05	04.12.21	Revised in line with amendments to elevations	DE	DT
PA04	30.09.21	Revised in line with amendments to elevations	DE	DT
PA03	13.07.21	Notes revised	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	First Issue	DE	DT

GWP Job Reference: (451)2101
 Job Title: Rialto House, Fishergate, York



Bay / Materials Study 02		
Name	2101-GWP-01-XX-DR-A-(PA)-0041	
Scale	Revision	PA06
Drawn/Checked	DE / DT	First Issue
18.06.21		
Drawing State	D - Planning	

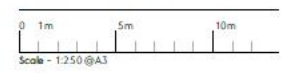


Rialto House, 145th Lane, Leeds LS11 1JG
 +44(0)113 266 0044 | +44(0)113 266 1829
 architecture@gwp-arch.com | www.gwp-arch.com

Proposed Ground Floor



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— Site Development Boundary
 - - - Extent of Site Title

KEY

Social Space - 336m ²	
Plant - 175m ²	
Vertical Circulation / Cores	
Cluster Social Kitchens	
Studio Room - Varies	21 No.
DDA Studio Room - ~28.4m ²	2 No.
Cluster Bedroom - 12.5m ²	27 No.
Total:	50 No.

Cycle Storage 168 Spaces (61.09%)
 Future Cycle Storage 168+108 Spaces = 276 (<100%)

- ▲ Building Entrance / Egress
- ▼ Secondary DDA Building Entrance / Egress
- ▲ Primary Cycle Access via Gate
- ▼ Main Entrance (including drop off) a Bridge Lane

Rev	Date	Comment	Dr	Ch
18/17	22.12.21	Cycle Parking Revised		
18/16	15.12.21	Cycle Parking Revised		
18/15	09.12.21	Cycle Parking Revised		
18/14	06.12.21	Revised to Planning Comments		
18/13	22.11.21	Revised to comments		
18/12	04.11.21	Cycle layout re-ordered		
18/11	05.10.21	Cycle layout re-ordered		
18/10	30.09.21	Cycle access via gate indicated	DE	RT



Job Title: Rialto House, Fishergate, York
 Client:

OLYMPIAN

Proposed Ground Floor Plan

Name: 2101-GWP-01-00-DR-A-(PA)-0012
 Scale: 1:250@A3 Revision: PA/7
 Drawn/Checked: DE/DT First Issue: 18.06.21
 Drawing Status: 01 - Planning



Proposed First Floor



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 Where dimensions should be taken.
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0 1m 5m 10m
 Scale - 1:250 @A3

Site Development Boundary
 Extent of Site Title

KEY

Vertical Circulation / Cores	
Cluster Social Kitchens	
Studio Room - Varies	20 No.
DDA Studio Room - ~28.4m ²	2 No.
Cluster Bedroom - 12.5m ²	59 No.
Total:	81 No.

Rev	Date	Comment	Dr	Ch
RA12	22.12.21	Revised to reflect changed to drawing 0012	DE	DT
RA11	15.12.21	DDA provision amended	DE	DT
RA10	09.12.21	Revised to reflect changed to drawing 0012	DE	DT
RA09	06.12.21	Revised to Floorings Comments	CT	DT
RA08	22.11.21	Revised to comments	CT	DT
RA07	05.10.21	Revised to reflect changed to drawing 0012	DE	DT
RA06	30.09.21	Revised to comments received from Fire Engineer	DE	DT
RA05	24.09.21	Revised to comments: Cables amended, Substation location and size amended	DE	DT
RA04	11.08.21	Substation location amended	FF	DE
RA03	29.06.21	Energy centre omitted, Smoke shaft and service riser swapped	DE	DT
RA02	23.06.21	Revised to comments	DE	DT
RA01	18.06.21	First Issue	DE	DT



GWP ARCHITECTS
 CHAMBERED ARCHITECTS
 100-102 BRIDGE STREET
 BRISTOL, AVON, BS1 2ND
 0117 927 0000
 www.gwp-arch.com

Rev: 001
 Job Title: Rialto House, Fishergate, York
 Client:

OLYMPIAN

Proposed First Floor Plan			
Name:	2101-GWP-01-01-DR-A-(PA)-0013	Revision:	PA1.2
Scale:	1:250@A3	Drawn/Checked:	DE/DT
Drawn/Checked:	DE/DT	First Issue:	18.06.21
Drawing Status:	D - Planning		



Proposed Second Floor Plan



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All work to be carried out in accordance with current Building Regulations.

Carrying out work of this nature may require a planning application to be made to the local planning authority.

Where dimensions are given, they should be taken as indicated.

Do not scale off drawing.

Do not make alterations to this drawing.

Any discrepancies to be reported to the architect.



— Site Development Boundary
 - - - Extent of Site Title

KEY

Vertical Circulation / Cores	
Cluster Social Kitchens	
Studio Room - Various	20 No.
DDA Studio Room - ~28.4m ²	2 No.
Cluster Bedroom - 12.5m ²	59 No.
Total:	81 No.

Rev	Date	Comment	By	Ch
RA12	22.12.21	Revised to reflect changed to drawing 0012	DE	DT
RA11	15.12.21	DDA provision amended	DE	DT
RA10	09.12.21	Revised to reflect changed to drawing 0012	DE	DT
RA09	06.12.21	Revised to Planning Comments	DE	DT
RA08	22.11.21	Revised to comments	CT	HT
RA07	05.10.21	Revised to reflect changed to drawing 0012	DE	DT
RA06	30.09.21	Revised to comments received from Fire Engineer	DE	DT
RA05	24.09.21	Revised to comments. Cables amended. Substation location and use amended.	DE	DT
RA04	11.08.21	Substation location amended	FF	DE
RA03	29.06.21	Energy centre omitted. Smoke shaft and service riser swapped.	DE	HT
RA02	23.06.21	Revised to comments	DE	DT
RA01	18.06.21	Final Issue	DE	DT
Rev	Date	Comment	By	Ch

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CHAMBERLAIN ARCHITECTS
 INTERIOR DESIGNERS
 SPACE PLANNING
 PROJECT MANAGEMENT
 LANDSCAPE ARCHITECTS

For more information, please contact:
 +44(0)113 266 0668 (F) +44(0)113 266 1859 (M)
 architect@chamberlainarchitects.com

Job No: (45)12101

Client: Rialto House, Fishergate, York

Drawn: OLYMPIAN

Proposed Second Floor Plan

Name	21 01 - GWP-01-02-DR-A-(PA)-0014		
Scale	1:250@A3	Revision	PA12
Drawn/Checked	DE/DT	First Issue	18.06.21
Drawing Status	D - Planning		

Rev: 18.06.21 (18.06.21) - Final Issue for Planning



Proposed Third Floor Plan



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KEY

- █ Vertical Circulation / Cores
- █ Cluster Social Kitchens
- █ Studio Room - Varies 13 No.
- █ DDA Studio Room - ~27.7m² 2 No.
- █ Cluster Bedroom - Varies 48 No.

Total: 63 No.

Rev	Date	Comment	Dr	Ch
RA14	22.12.21	Revised to reflect changes to drawing 03.12	DE	DT
RA13	15.12.21	DDA provision amended	DE	DT
RA12	09.12.21	Revised to reflect changes to drawing 03.12	DE	C
RA11	06.12.21	Revised to Planning Comments	DE	DT
RA10	22.11.21	Revised to comments	CT	HT
RA09	05.10.21	Revised to reflect changes to drawing 03.12	DE	DT
RA08	30.09.21	Revised to comments received from Fire Engineer	DE	C
RA07	24.09.21	Revised to comments. Gas lift amended. Substation location and size amended.	DE	DT
RA06	18.08.21	Revised to comments received from Fire Engineer	DE	C
RA05	11.08.21	Substation location amended	FF	C
RA04	29.06.21	Energy centre omitted. Smoke shaft and service riser stopped.	DE	DT
RA03	23.06.21	Revised to comments	DE	DT
RA02	22.06.21	Roof lights to kitchens added	DE	DT
RA01	18.06.21	First Issue	DE	DT



CHIEF ARCHITECT
INTERIOR DESIGNER
SCENE DESIGNER
PROJECT MANAGER
LANDSCAPE ARCHITECT

100 Great North Road, London, N1 1AA
020 7324 0000 (0) 20 7324 0000
020 7324 0000 (0) 20 7324 0000
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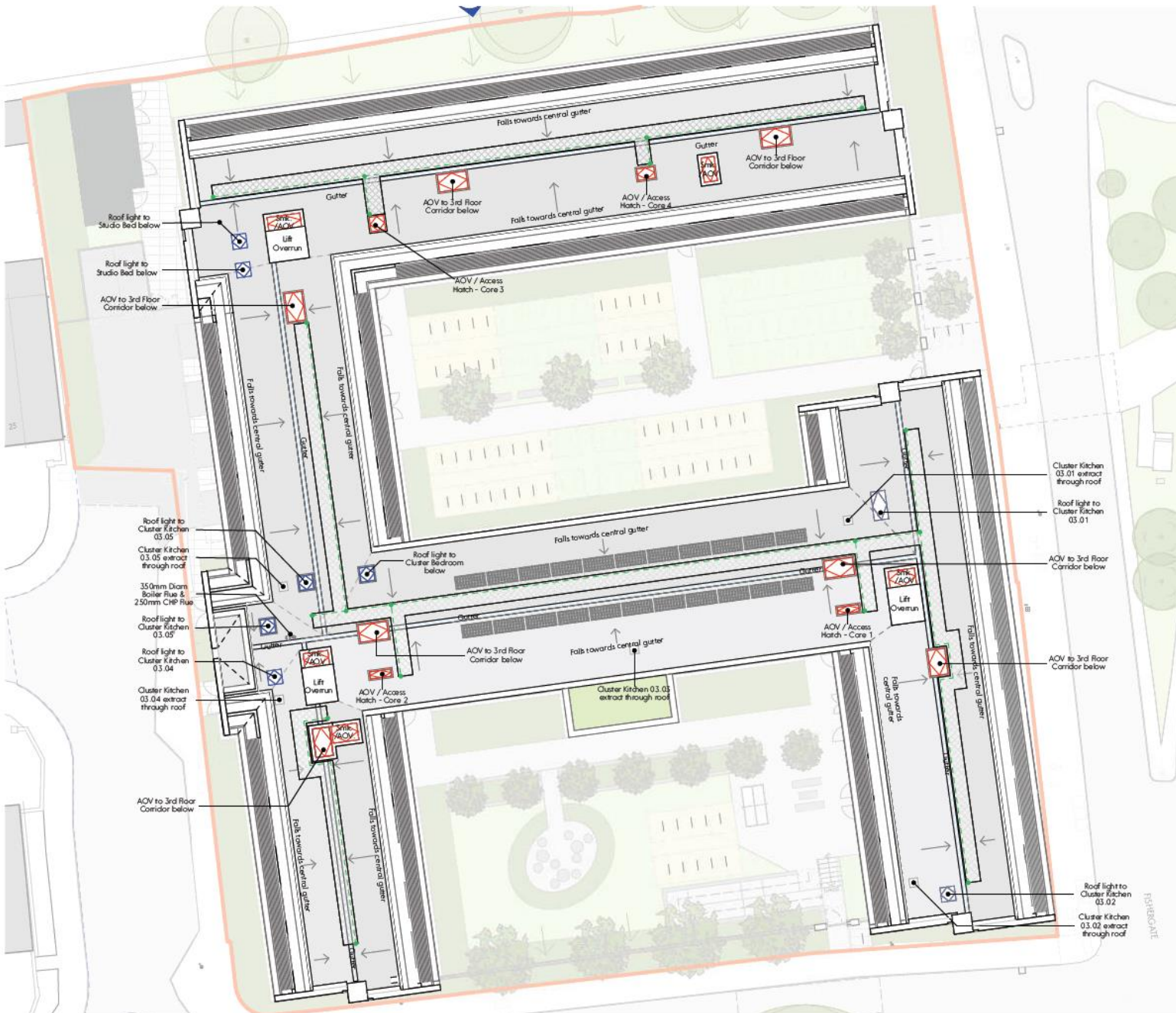
Job No: (451)2101
Job Site: Rialto House, Fishergate, York

OLYMPIAN

Proposed Third Floor Plan			
Name	2101-GWP-01-03-DR-A-(PA)-0015		
Scale	1:250@A3	Revision	RA14
Drawn/Checked	DE/DT	First Issue	18.06.21
Drawing Status	D - Planning		



Proposed Roof Plan



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Contractor to verify all dimensions and details of the building before commencing any work.

Do not alter dimensions without the consent of the Architect.

Do not use work off drawing.

Do not make digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

0 1m 5m 10m

Scale - 1:250 @A3

- Site Development Boundary
- Extent of Site Title
- Roof access walkway
- Fall Arrest System - Design and detail by specialist
- Drainage gutter
- Drainage falls - as indicated
- SWK
AOV AOV to smoke shaft - Serving up to Second Floor
- AOV Combined AOV/Roof Access Hatch to stair cores
- PV PV Panels - 22 No. 2094 x 1038mm @ 30°
- RL Roof Light

Rev	Date	Comment	Dr	Ck
PA14	22.12.21	Revised to reflect changed to drawing 0012		D
PA3	15.12.21	Revised to reflect changed to drawing 0012		D
PA2	09.12.21	Revised to reflect changed to drawing 0012		C
PK11	06.12.21	Revised to Planning Comments		CK
PK10	22.11.21	Revised to comments		C
PK09	05.10.21	Revised to reflect changed to drawing 0012		CK
PK08	24.09.21	Revised to comments. Double arrowhead. Substitution location and size amended.		CK

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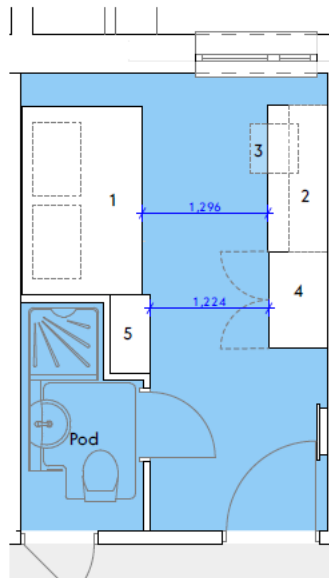


Job Title: Rialto House, Fishergate, York

OLYMPIAN

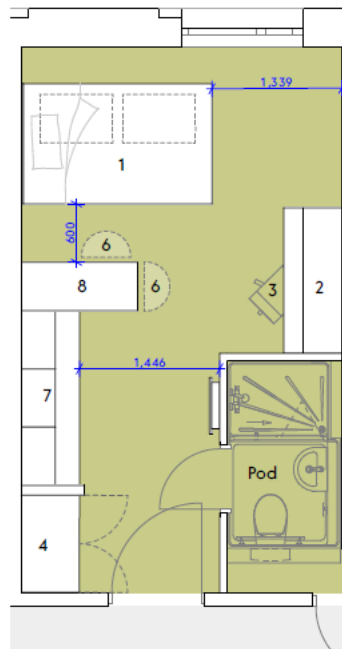
Proposed Roof Plan	
Name	21 01 - GWP-01-04-DR-A-(PA)-00 16
Scale	1:250@A3
Drawn/Checked	DE/DT
Revision	PA1 4
First Issue	18.06.21
Drawing Status	D - Planning

Typical Bedroom Types



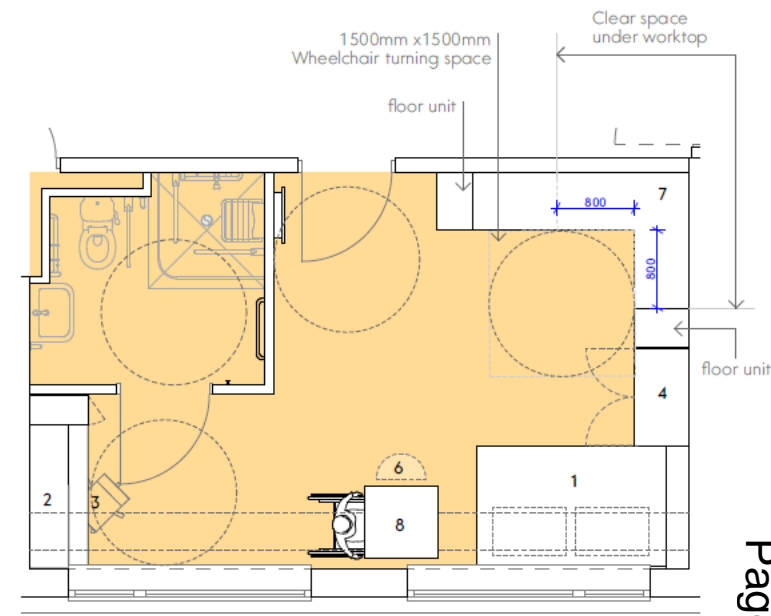
Typical Cluster Study Bedroom - 193 No.
Unit Shown 12.5m²

Cluster Study Bedroom		
TYPE	Area	Quantity
TYPE 01	12.5m ²	160
TYPE 02	13.2m ²	17
TYPE 03	17.6m ²	1
TYPE 04	21.1m ²	1
TYPE 05	14.8m ²	10
TYPE 06	17.1m ²	4



Typical Studio Bedroom -74 No.
Unit Shown 18m²

Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	18m ²	58
TYPE 02	20.6m ²	11
TYPE 04	18.9m ²	1
TYPE 05	31.0m ²	1
TYPE 07	19.5m ²	3



Typical DDA Studio Bedroom - 8 No.
Unit Shown 27.8m²

DDA Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	28.4m ²	3
TYPE 02	27.8m ²	1
TYPE 03	26.1m ²	3
TYPE 04	35.6m ²	1

List of furniture:

1. double bed
2. desk
3. chair
4. wardrobe
5. shelving unit
6. potential chairs
7. kitchenette
8. table



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1m 2m
scale - 1:50 @A3

Rev	Date	Comment	DE	DT
PA03	15.12.21	Room quantum's updated inline with revised plans	DE	DT
PA05	06.12.21	Room quantum's updated inline with revised plans	DE	DT
PA05	29.09.21	Room quantum's updated inline with revised plans	DE	DT
PA04	14.09.21	General update	CI	CI
PA03	30.06.21	Scale note revised	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	First issue	DE	DT

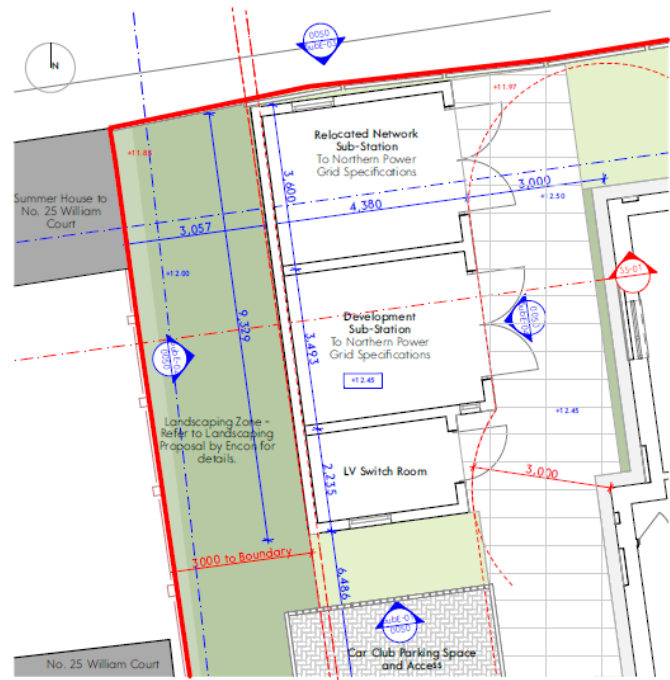
GWP Job Reference: (451)2101
Job Title: Rialto House, Fishergate, York

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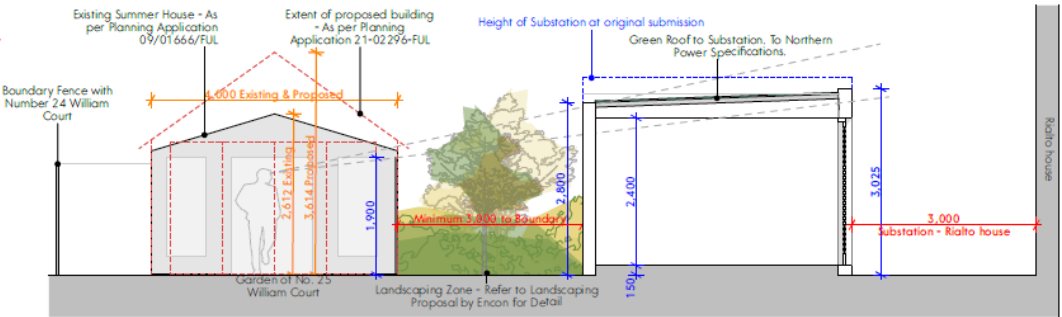
Typical Bedroom Types	
Name: 2101-GWP-01-XX-DR-A-(PA)-0060	Revision: PA07
Scale: 1:50@A3	First Issue: 18.06.21
Drawn/Checked: DE / DT	Drawing Status: D - Planning



Proposed Sub Station



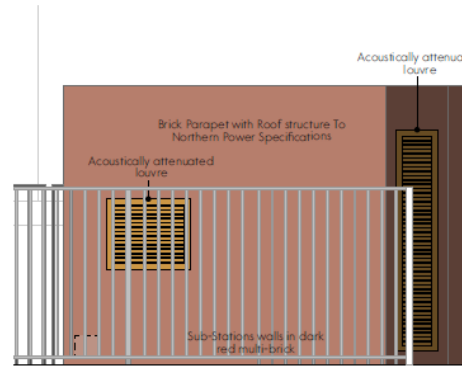
Sub-Station - Ground Floor Plan



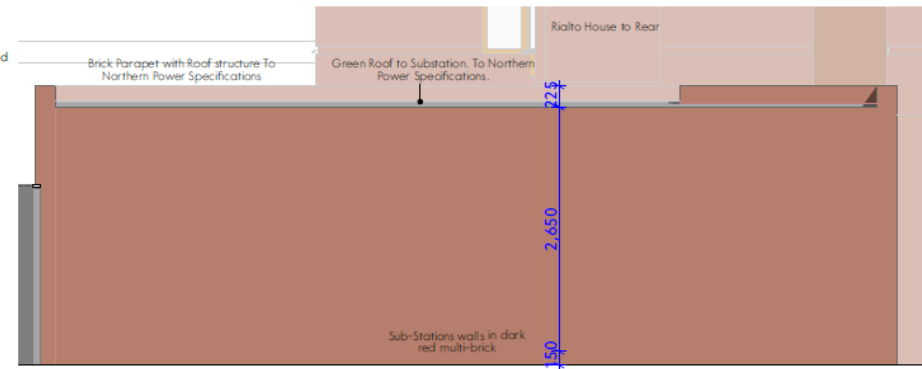
Section 01



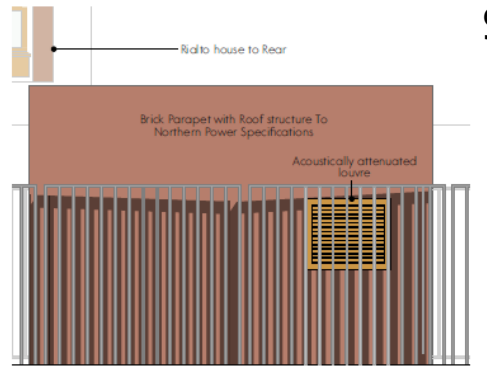
Elevation 04



Elevation 01



Elevation 02



Elevation 03

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0 1m 2m
Scale - 1:50 @A3

Rev	Date	Comment	Dr	CR
PA10	13.01.22	Louvre arrangement amended	DE	WT
PA10	26.12.21	Revised to reflect comments or planning	DE	DT
PA10	26.12.21	Revised to reflect comments or planning	DE	DT
PA10	26.12.21	Additional dimensions added	DE	DT
PA10	26.12.21	Minor Graphical Amendments	DE	WT
PA10	29.09.21	Updated to reflect design development	DE	DT
PA10	11.08.21	Substation location amended	DE	DT

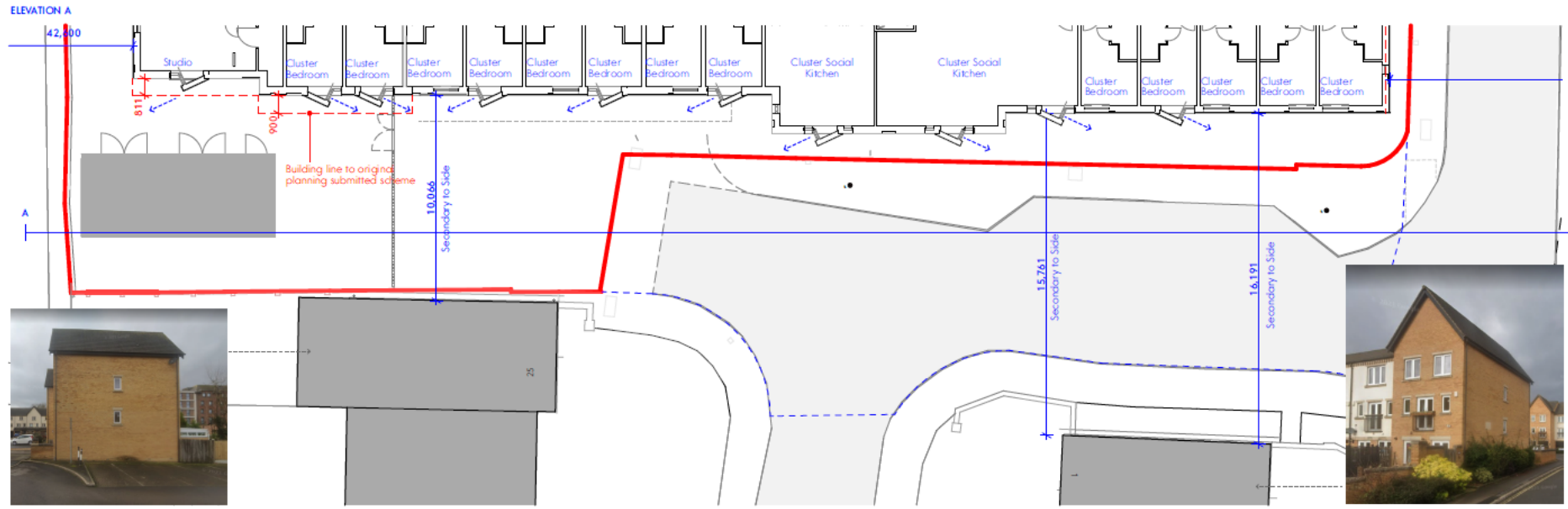
GWP Job Reference	(451)2101
Job Title	Rialto House, Fishergate, York
Client	OLYMPIAN

Proposed Sub Station	
Name	2101-GWP-01-00-DR-A-(PA)-0050
Scale	1:50@A3
Revision	PA 10
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning

GWP
GWP ARCHITECTS
11 BRICK HOUSE, 15 GUYTON LANE, LEEDS LS8 1PD
+44(0)113 266 44 44 | +44(0)113 266 1809 |
architecture@gwparch.com | www.gwparch.com



William Court – Overlooking Study



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 Any discrepancies to be reported to the Architect.

- KEY:**
- Opaque
 - Transparent
 - Translucent windows set back behind louvers
 - Spandrel panel
 - Lowered service doors
 - Splayed Windows
 - Views from Splayed Windows

City of York Council Planning Committee Meeting - 3rd February 2022

Rev	Date	Comment	Dr	Ch
PA01	29.09.21	Updated to reflect plan on comment	IF	DE

GWP Job Reference (451)2101
 Job Title Rialto House, Fishergate, York
 OLYMPIAN

William Court - Overlooking	
Name	2101-GWP-01-XX-DR-A-(PA)-0062
Scale	1:200@A3
Revision	PA01
Drawn/Checked	CT / DT
First Issue	31.08.21
Drawing Status	D - Planning



3.4 Architectural Development

3.4.22 Views

Artist Impressions (1)

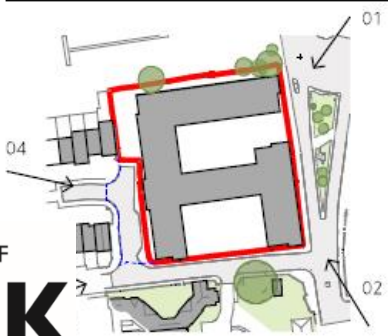


Existing View



Proposed View 01 Looking South From Fishergate Road

Key



3.4 Architectural Development

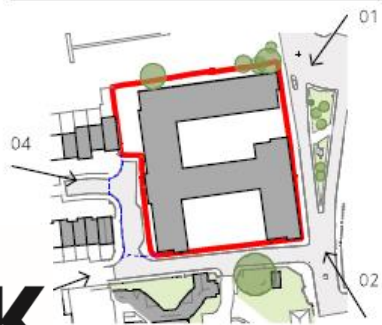
3.4.22 Views

Artist Impressions (2)



Existing View

Key



Proposed View 02 Looking West Down Blue Bridge Lane

Page 70

3.4 Architectural Development

3.4.22 Views

Artist Impressions (3)

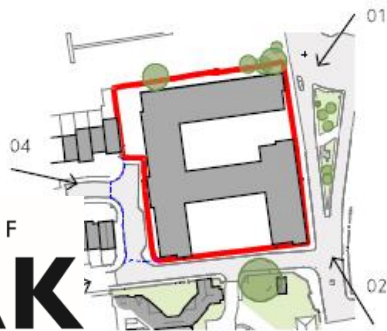


Existing View



Proposed View 03 Looking East Down Blue Bridge Lane

Key



3.4 Architectural Development

3.4.22 Views

Artist Impressions (4)



Existing View



Proposed View 04 Looking East From William Court



3.4 Architectural Development

3.4.23 Aerial View

Artist Impression – 3D Aerial View



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COMMITTEE REPORT

Date: 3 February 2022 **Ward:** Guildhall
Team: East Area **Parish:** Guildhall Planning Panel

Reference: 21/02164/FULM
Application at: Alton Cars York Ltd 3 James Street York YO10 3WW
For: Demolition of existing buildings and redevelopment of the site for purpose-built student accommodation with up to 319 bedrooms, associated communal facilities, car parking and landscaping
By: S Harrison Developments Ltd
Application Type: Major Full Application
Target Date: 10 February 2022
Recommendation: Approve

1.0 PROPOSAL

Summary

1.1 The proposals are for purpose built student accommodation on land last used for employment uses. The presumption in favour of sustainable development in paragraph 11d of the NPPF applies to this application. This means permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole. The scheme is recommended for approval; the loss of employment land would not be in conflict with the NPPF and nor would it conflict with Publication Draft Local Plan 2018 (eLP) policy EC2: Loss of Employment Land. The proposed use is compliant with eLP policy H7: Student Accommodation. There would be no impact on designated Heritage Assets; no undue impact on residential amenity or highway safety and all technical matters have been addressed.

Application site

1.2 The application site is located along James Street, between Brinkworth Terrace to the south and Elvington Terrace to the north. The site previously accommodated a vehicle repair garage (Alton Cars) and comprises of an industrial warehouse building with hard-standing to the north and south used for car parking. The operator will relocate to an alternative site at Elvington when the lease expires.

1.3 On the opposite side of James Street and further north are predominantly industrial estate type buildings. To the west are a group of residential blocks,

predominantly 4-storey in height. To the immediate south is student accommodation. Along Brinkworth Terrace the wing of accommodation (at the rear of the former WMC) is 3.5 storey. Further south, along Lawrence Street buildings are domestic in scale. The Lawrence Street frontage buildings, between the inner ring road and James Street, are within the Central Historic Core Conservation Area (Walmgate Character Area).

Proposals

1.4 The proposed student accommodation has 319 bedrooms; a mix of 253 within clusters and 66 studios. The building would be A-shaped in footprint, with two landscaped courtyards and between 3 and 5 storey in height (with the top floor within the roof). Servicing would take place from Brinkworth Terrace utilising an existing entrance into the site and turning head within the highway.

1.5 The applicant and architects were the developers of the student accommodation at the former Lawrence Street WMC, located to the south of the application site. The applicants undertook their own pre-application consultation, which included residents, Yorkshire Housing who operate the accommodation to the west, and local councillors.

2.0 POLICY CONTEXT

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determinations be made in accordance with the development plan unless material considerations indicate otherwise.

2.2 The National Planning Policy Framework ('NPPF') is a material consideration in the determination of this planning application. Key sections of the NPPF are as follows –

- 5 Delivering a sufficient supply of homes
- 9 Promoting sustainable transport
- 11 Making effective use of land
- 12 Achieving well-designed places
- 14 Meeting the challenge of climate change, flooding and coastal change

2.3 The Publication Draft City of York Local Plan 2018 ('2018 eLP') was submitted for examination on 25 May 2018. In accordance with paragraph 48 of the NPPF its policies can be afforded weight according to:

- The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);

- The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- The degree of consistency of the relevant policies in the emerging plan to the policies in the previous NPPF published in March 2012.

2.4 Key relevant Publication Draft Local Plan 2018 Policies are as follows -

DP3 Sustainable Communities

D1 Place-making

D6 Archaeology

EC2 Loss of employment land

CC1 Renewable and Low Carbon Energy Generation and Storage

ENV1 Air Quality

ENV5 Sustainable Drainage

H7 Student Housing

HW1 Protecting Existing Facilities

T1 Sustainable Access

3.0 CONSULTATIONS

Internal

Design, Conservation and Sustainable Development - Archaeology

3.1 The site lies within the Central Area of Archaeological Importance. Based on investigations nearby it is understood this area contains a significant archaeological resource within 1-2m of the modern ground surface. No investigation has taken place within the proposed site boundary. It is anticipated the southern half of the site has the most archaeological potential – in particular areas not previously disturbed.

3.2 A full evaluation is required across the entire site following the demolition of the extant building. A Written Scheme of Investigation (WSI) has already been prepared (On-Site Archaeology July 2021). Without information on the site's archaeological profile, the foundation design will require approval through condition, to ensure control over the final design of the building to ensure preservation in-situ can be achieved if/where required. Officers have recommended a suitably worded condition.

Design, Conservation and Sustainable Development - Countryside and Ecology Officer

3.3 No objection. Recommend biodiversity enhancement in accordance with the Preliminary Bat Roost Assessment by Wold Ecology Ltd. As the application site offers suitable habitat for nesting birds, primarily within the workshop building, precautionary methods required to ensure active nests are not destroyed during the proposed works.

Design, Conservation and Sustainable Development - Landscape Architect

3.4 In recent years, aesthetics and amenity have played a much greater part as James Street and the immediate area have become more residential. The emerging, green, road corridors, make deliberate connections with Tang-hall Beck (green infrastructure corridor no.16 – ‘Osboldwick/Tang-hall corridor’) and the River Foss (GI corridor 03 - ‘Foss corridor’ and 11 - ‘City Walls’).

3.5 The proposed development presents another opportunity to improve the environment along James Street - aesthetically and physically, and to make a positive contribution to its evolving character and street scene in which street trees play a defining role. The proposed building should be set back from James Street a sufficient distance to sustain sizeable street trees, which should have a notable presence and be of a scale fitting for the proposed building height and mass. The setback provided is too narrow to be effective in this respect.

3.6 On the west side of the site green punctuations recommended as the elevation appears very close to the boundary and thus possibly overbearing on Dunlin House and the open space between Dunlin House and Heron House (officer note – the building has subsequently been moved further from the site boundary in this area).

Highway Network Management

3.7 Officers have requested a financial contribution to enable the Council to assist with the Travel Plan for the site. At pre-application stage officers also made the following points -

- Vehicles should be able to access/egress the service area in a forward gear.
- Adequate cycle parking must be provided.

Public Protection

3.8 Noise - the noise assessment by PDA Acoustic Consultants (September 2021) considers the existing noise climate and advises of the appropriate noise mitigation

measures to ensure that internal noise levels for the accommodation meet the requirements of BS8233:2014. A condition to secure such is recommended.

3.9 Construction Management - recommend controls be put in place to minimise noise, vibration and dust during demolition and construction as there are commercial and residential properties nearby.

3.10 Land Contamination - the Delta Simons Preliminary Geo-Environmental Risk Assessment ref 21-1257.01 (August 2021) is acceptable and concludes the need for a site investigation.

3.11 Electric Vehicle charging - recommend provision of a charging facility in line with paragraph 110 of the NPPF, which states developments should be designed to incorporate facilities for charging plug-in and other ultra-low emission vehicles in safe, accessible and convenient locations.

External

Conservation Areas Advisory Panel

3.11 The application was considered by the Panel as the site is adjacent to the York Central Historic Core Conservation Area. The panel had no objection to this scheme and noted that it was of a higher standard in terms of space and student facilities than many recent similar schemes. Elevations were well modulated with an easily identified main entrance. It was not felt the scheme would be detrimental to the appearance of the Conservation Area.

North Yorkshire Police – Designing out crime officer

3.12 Comments outline relevant safety and security considerations, crime issues at the site location and recommendations. Access control, lighting to aid surveillance, physical protection to doors, windows and cycle storage are recommended and that a management plan be in operation for the site. The proposals for boundary treatment and CCTV are commended.

Guildhall Planning Panel

3.13 Object – over-development. The building is too high. It should be setback from the site boundaries to allow for landscaping. It would overlook the dwellings to the west. Too many apartments are proposed and a lack of green space.

Yorkshire Water

3.14 Ask for site drainage details to be approved by the Local Planning Authority prior to any piped discharge of surface water from the development. In accordance with the sustainable drainage hierarchy it must be evidenced that surface water via infiltration is not feasible. Following such, Yorkshire Water would accept the proposed restricted discharge rate of 33.3 Litres/second.

4.0 REPRESENTATIONS

York Civic Trust

4.1 Broadly support the scheme. Aspects of the proposal are welcomed and offer better design quality than other recent student accommodation schemes proposed in York. However, the Trust is unable to support the application in its current form due to shortcomings in the design, choice of materials, and internal layout of the scheme. Comments in this respect are as follows -

- The overall massing of the building is acceptable. However the proposed building does overtly maximise the use of the site. More separation between the building and the street recommended.
- The massing and design profile of the proposed building sits well in the context of the surrounding area. The gable ends offer a regular rhythm and interest to the James Street elevation, resulting in a positive contribution to the area. However, the current design risks the entrance area being too prominent and too 'busy' and the dormers are considered overstated and too dominant.
- Materials - Question whether the roofing material would be better suited as uniformly pantiles, rather than split between pantiles and slate as proposed. Also whether render or brickwork would be preferable to the section of cladding proposed at the main entrance.
- Layout - Further detail over the internal layout would be beneficial in ensuring quality of design, in particular at top floor level where rooms are proposed within the roofspace (officer note typical layouts have since been provided).

There have been eight further objectors

4.2 The following grounds for objection have been raised:-

- Amenity of residents in dwellings to the west

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- Loss of light and privacy due to the height of the proposed building and location of windows. Existing windows and patios look directly towards the site and would be affected.
- Overlooking of the communal landscape area to the west.
- The development would mean more use of the land to the west as a cut through (toward the inner ring road / Foss Islands Road). Associated concerns regarding noise disturbance and litter.
- Impact on setting due to building height – the proposed building is five storey, this is unprecedented; taller than any other buildings locally.
- Need for construction management
- Concern over the amount of student accommodation in the area. It is reported that this scheme along with the three others along Lawrence Street would amount to some 1,300 student rooms. The increase in student accommodation numbers has led to issues of noise, anti-social behaviour and congested car parking. This scheme has inadequate car parking and will lead to further parking problems locally.

5.0 APPRAISAL

Key issues

5.1 The key issues in assessment of this scheme are -

- Principle of the proposed development
- Where there is impact on the Central Historic Core Conservation Area
- Design of the proposed building
- Neighbours amenity
- Highway safety and sustainable travel
- Public protection
- Archaeology
- Drainage

Principle of the proposed development

Loss of the employment use

5.2 The site is currently in employment use. Publication Draft Local Plan (DLP) policy EC2 advises that loss of employment land is appropriate where –

- the existing land and/or buildings are demonstrably not viable in terms of market attractiveness, business operations, condition and/or compatibility with adjacent uses; and
- the proposal would not lead to the loss of an employment site that is necessary to meet employment needs during the plan period.

5.3 Policy EC2 identifies the need for each type of employment use over the emerging plan period and in policy EC1 it allocates sites which more than provide sites to meet demand. The allocated sites are more desirable to the application site taking into consideration sustainable transport links for office type uses, logistics for storage / distribution and compatibility with neighbours for industrial uses. The current operator has relocated to what it considers to be a preferable site, in terms of operationally and logistically.

5.4 The loss of employment land primarily must be assessed against NPPF policy. NPPF Paragraph 122 requires that planning decisions “reflect changes in the demand for land”. Paragraph 123 states Local Planning Authorities “should support proposals to use retail and employment land for homes in areas of high housing demand, provided this would not undermine key economic sectors or sites or the vitality and viability of town centres”.

5.5 The NPPF places a strong emphasis on re-using sites such as this for residential development where there is need. There is evidently a trend in re-using former industrial land in the Walmgate, Lawrence Street and Layerthorpe areas for residential/student use, which has been beneficial to regeneration and the vitality and viability of the city centre, and not evidentially undermined key economic sectors.

5.6 The loss of employment land is not objected to on the following grounds –

- When the lease for Alton Cars was expiring the site was marketed and the only interest was from developers of student housing.
- The existing business on-site has identified an alternative, preferable location.
- The emerging local plan allocates adequate land to meet employment needs, which are in locations better suited to employers needs compared to the application site.
- Due to the scale and location of the site, it is unlikely to be redeveloped as offices (evidenced by the inquiries made for the site when it was marketed).

- Industrial or noisy commercial activity on-site would be incompatible with the residential uses to the south and west of the site.
- Planning permission has been recently granted for change of use of multiple former industrial or commercial premises along James Street which sets a precedent and demonstrates the extent of housing need. Sites include - James House (initially office to residential under permitted development rights), the multiple phases of the Brickworks Student Accommodation scheme at James Street / Redeness Street and residential development at 1 Redeness Street.
- The Council's economic development team have been consulted and not raised objection to the application.

Proposed use

5.7 The site is previously developed and in a sustainable urban location. The proposed re-use of the site in principle conforms with NPPF section 11, which requires planning decisions should:-

- Promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions (paragraph 119).
- Give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs (120).
- Local Planning Authority's should take a proactive role in identifying and helping to bring forward land that may be suitable for meeting development needs (121).
- Take a positive approach to applications for alternative uses of land, where it is developed but not allocated for a specific purpose in plans, where this would help to meet identified development needs. (123).

5.8 NPPF policy on decision making (in paragraph 38) states Local planning authorities should approach decisions on proposed development in a positive and creative way. Decision-makers at every level should seek to approve applications for sustainable development where possible.

5.9 Policy H7 Student Housing within the 2018 eLP carries limited weight in decision-making at this stage as the emerging plan is not adopted and there are objections to the policy. It is against the NPPF policies that this proposal should principally be assessed. H7 states proposals for new student accommodation will be supported where:

- there is a proven need for student housing; and
- it is in an appropriate location for education institutions and accessible by sustainable transport modes; and
- development would not be detrimental to the amenity of nearby residents and the design and access arrangements would have a minimal impact on the local area.

5.10 Despite the number of recent applications, there remains demonstrable need for student housing. The amount of purpose built student accommodation (PBSA), operated by the university and other operators, including permissions yet to be implemented, would accommodate under 50% of students (in full time education).

5.11 The site is in an appropriate location for student accommodation. Nearby around Navigation Road, Walmgate, Lawrence Street and James Street are multiple large-scale PBSA developments which provide essentially car free developments due to their accessibility.

Impact on the Central Historic Core Conservation Area

5.12 The site is outside of, but adjacent to, the Central Historic Core Conservation Area. The Council has a statutory duty (under section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to consider the desirability of preserving or enhancing the character or appearance of designated Conservation Areas.

5.13 Of the Central Historic Core Conservation Area, the Walmgate Bar Character Area lies to the south and west of the application site and includes the terrace of 19th Century houses along Foss Islands Road and the frontage buildings on the north side of Lawrence Street terminating at James Street. St Lawrence's Church is also within the conservation area. The church is listed at grade II and identified as a landmark building in the conservation area appraisal. The character area appraisal identifies the key qualities of this character area as being –

- The 18th century former houses on the north side of Lawrence Street, which are Grade II listed.
- Walmgate Bar, which has the last remaining barbican in the city.
- St Lawrence's Church, a large landmark in the area. The Church possesses group value with those buildings already in the Conservation Area. The churchyard provides a setting for this group of buildings and positively contributes to the appearance of the character area.

5.14 Analysis has been provided with the application illustrating the impact of the scheme when viewed in juxtaposition with the Central Historic Core Conservation Area. The analysis takes into consideration views from the east, from the City Walls, along the outer ring road (from where there are views of the walls and the spire of the Grade II listed St Lawrence's Church) and from Lawrence Street to the south.

5.15 In views from the City Walls and the inner ring road there would be glimpsed views of the proposed building beyond the Waitrose service yard and the neighbouring 15 Foss Islands Road (the latter is currently subject an application for redevelopment). There would be no effect on the prominence of the church spire on the skyline.

5.16 From both the east and south existing views are towards the warehouse type, and utilitarian buildings, along James Street. In views the building's scale would be complimentary to foreground buildings. There would be no harm to the setting of the conservation area. The proposed building is of a scale which would enable it to blend in with its surrounds and the architecture of the building is more closely related to the conservation area setting compared to existing views, towards warehouse type buildings found along James Street.

Design

5.17 NPPF paragraph 130 sets out design considerations. Paragraph 131 now emphasises the importance of trees in urban environments and recommends they are incorporated into developments. Paragraph 130 advises developments should –

- function well and add to the overall quality of the area over the lifetime of the development;
- be visually attractive
- be sympathetic to local character
- make effective use of the site
- create places which are safe, inclusive, promote health and well-being, and with a high standard of amenity

Layout and architectural approach

5.18 The layout gives a sense of enclosure to the street whilst providing defensible space to the building and enhanced landscaping to the street scene. Trees will be accommodated in the two courtyards and on the south side of the site. The approach, considering the layout and variety in building form and materials, respects

the domestic character and urban grain found along Lawrence Street (to the south) rather than the approach of setting buildings further back from the street, now present at the northern (towards Layerthorpe) section of James Street / Hallfield Road. The application site and the proposed building use is coherent to the Lawrence Street context and the approach to layout is not objected to.

5.19 The outward facing elevations will comprise of two brick types; orange and brown multi types and the roofs typically red clay tile. The taller section, which identifies the entrance, varies in its appearance, using slate roof tiles. The building has varying eaves and ridge heights and façade treatments, creating a rhythm and vertical emphasis to the facades, reflective of the streetscene along Lawrence Street. Objections by others to the use of metal cladding are noted, but its use is limited and not objected to. More traditional materials are prevalent on the proposed building and metal cladding is found on various other schemes nearby.

5.20 Overall the architectural approach is complimentary to the townscape within the Central Historic Core Conservation Area, along Lawrence Street and Foss Islands Road. The building, in its materials, massing and detailing, references back to the plot width, scale, variety, form and materiality within the aforementioned streets.

Scale

5.21 The building is between 3 and 5 storey high. The buildings' perceived scale would be moderated by its massing and the presence of the apartment blocks to the west. Since submission the scheme has been revised and the amount of development proposed on the western side of the site reduced. Initially the amount of development at 4th and 5th floor level were reduced (with the number of student rooms proposed reduced by 10). This change was subject to re-consultation. A further change has been to move the majority of the west elevation further from the west side boundary (where looking towards Heron / Dunlin House). This led to a further reduction with the number of student rooms reduced to 319.

5.22 At the south end of the site the building height steps down to 3-storey and its elevation fronting James Street is generally 3-storey. Toward the centre of the site (where the entrance is positioned) there is an increase in height and the building steps up to 4-storey on the north wing, along Elvington Terrace. The apartments to the west are 4-storey also. On the west side of the site, opposite the neighbouring housing, the proposed building would be taller than its neighbour, as there is accommodation at 5th floor level. However this is within the roofscape and is setback typically 2m or 3m from the main façade.

5.23 It is noted in consultation responses from the Civic Trust and Conservation Areas Advisory Panel that the building height is considered acceptable. The accommodation at top floor level does mean the proposed building height exceeds that of the dwellings to the west. However this level is either setback from the main

façade or accommodated towards the centre of the site. As such the building would be perceived as of similar scale to the dwellings to the west and not be excessive.

Proposed accommodation

5.24 The accommodation proposed would provide reasonable levels of amenity for future occupants.

5.25 There are a mix of studio rooms (66) and clusters (253). Clusters vary, between 6-10 rooms per cluster, sharing a communal kitchen / living area. Communal areas are typically around 40 sq m. The applicants have now provided typical room layouts, including rooms within the roofscape, which illustrate rooms are fit for purpose and would provide reasonable amenity.

5.26 The two courtyards provide some 530 sq m amenity space. This is supplemented by the landscaping around the periphery of the site. At ground floor level are communal areas, which can be used by all residents. The communal areas provide some 325 sq.m floorspace overall and provide amenities such as common room/games room; cinema; gym; study; laundry. These facilities are provided at ground floor level close to the building entrance and adjacent the James Street frontage.

Sustainable design / construction

5.27 Local requirements for buildings in terms of addressing climate change are eLP 2018 policies CC1 and CC2, which seek to secure enhancements over the 2013 Building Regulations. New buildings are expected to have a dwelling emission rate (DER) that is a 28% improvement over the 2013 regulations.

5.28 The developer is aware of the proposed changes to the Building Regulations in 2022. They are therefore proposing the adoption of air source heat pumps. Calculations provided result in a 70.6% reduction in carbon emissions. A condition will require approval of details to evidence the scheme has complied with local policy.

Neighbours amenity

5.29 The proposed building is of comparable height to the apartments to the west. It would be some 3.8m from the boundary where it faces the parking area in front of Dunlin House and the landscaped area to the west. As such and with the existing and proposed developments' outward facing elevations being orientated perpendicular to each other, the proposed development would not be over-dominant or over-bearing and would have no undue impact on neighbour's amenity.

5.30 The development would not lead to direct overlooking of the apartments to the west. Habitable windows to dwellings at Heron / Dunlin House are either north / south facing or are over 22m from the proposed building. The separation distances between habitable rooms would exceed the 18m between habitable rooms currently at Heron / Dunelm House.

5.31 The west elevation proposed would overlook the communal grounds used either for car parking or as amenity space at Dunlin / Heron House. The communal spaces are overlooked by multiple properties and this situation is fundamentally unchanged as a consequence of the proposed development. This arrangement is not objected to.

Biodiversity

5.33 The NPPF states decisions should contribute to and enhance the natural and local environment by minimising the impacts on, and providing net gains for biodiversity.

5.34 Biodiversity gains have been recommended which are bat and bird boxes. Along with the landscaping proposed there would be net gain as required under the NPPF. These benefits can be secured by condition. The site has been inspected by an Ecologist and no evidence of bat roosts or bird nesting were detected on-site. As a precaution an informative will reference the method statement for works set out in the Preliminary Bat Roost Assessment issued, in case bats are discovered.

Highway safety and sustainable travel

5.35 The NPPF states that in assessing applications it should be ensured that:

- Opportunities to promote sustainable transport included where appropriate.
- Safe and suitable access to the site can be achieved for all users.
- Any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.

5.36 The NPPF states *“development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe”*.

Sustainable travel

5.37 By virtue of the site's location and the type of use proposed the majority of associated journeys would be by sustainable modes of travel. The site provides 3 car parking spaces; 2 are accessible. In its current format the site is dominated by parked cars, including on the landscape strips and footpaths around the site.

5.38 Cycle parking provision proposed is 169 spaces (approx. 50%) with space identified in the courtyard for extra spaces (up to 72%) subject to demand. The provision is in a secure location and convenient to access. The amount is acceptable; monitoring of cycle use at other student developments evidences that operationally this is sufficient (the applicant was responsible for the Gray's Wharf PBSA at Percy's Lane. At that site monitoring shows no more than 10% of students own cycles).

Access – servicing / waste

5.39 The service access is on the south side of the building and the refuse store is adjacent. Waste collection would be from Brinkworth Terrace (as per the current arrangement). Condition 23 requires site management in respect of waste collection; to ensure waste is placed out for collection at the appropriate time, stored internally at all other times. The courtyard on the south side of the site and retained turning head on Brinkworth Terrace provide adequate means for servicing the site without any disruption to the network.

Impact on network

5.40 The proposed use will generate significantly less traffic than the current use, reducing the car parking provision from approximately 100 down to 3. Parking associated with the existing use also frequently obstructs the footpath. Traffic generated from the proposed use will be associated with servicing and beginning and end of term arrangements. There are no objections to the scheme in terms of effect on the road network.

5.41 As is typical of purpose built student accommodation, within or at the edge of the city centre, the scheme only provides car parking for accessible use, or associated with servicing. Students are advised in advance of arrival schemes are car free and through the travel plan alternative travel is encouraged.

Public protection

5.42 Section 15 of the NPPF, regarding the natural environment advises that planning decisions should contribute to the natural and local environment by preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution. Paragraph 186 states opportunities to improve air

quality or mitigate impacts should be identified, such as through traffic and travel management, and green infrastructure provision and enhancement.

Contamination

5.43 Any permission for the site would be subject to standard conditions for a full site investigation to determine appropriate remediation that would require implementation.

Noise and Air quality

5.44 The site is close to Air Quality Management Areas (AQMA), along Lawrence Street and the inner ring road. The proposed use would have significantly less associated vehicle movements compared to the existing use and can only be beneficial to air quality.

5.45 In terms of noise generation the proposed use also raises no issues. A condition would require a student management plan, which would cover items such as noise and anti-social behaviour. Public comments noted that residents may cut through the land to the west if travelling to or from Foss Islands Road. This could be addressed through management. The route using the public highway via James Street / Leake Street is reasonably direct considering the likely destination of travel by residents of the proposed scheme.

Archaeology

5.46 The site is within the City Centre Area of Archaeological Importance. NPPF paragraph 194 states that “where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation”.

5.47 Only a desk-based assessment has been undertaken as the site was operational until very recently. On-site Archaeology, who undertook evaluation at the former WMC site to the south, have devised an approach to evaluation that would take place when the site is vacant, allowing unhindered access to all parts of the site and enable a full evaluation. The results of the evaluation would enable assessment of the impact of the proposed development on the archaeological deposits. Measures would be explored to achieve physical or in-situ preservation of any significant remains. Where destruction is unavoidable, a scheme of archaeological mitigation will be undertaken in order to achieve preservation ‘by record’.

Flood Risk & Drainage

5.48 The proposed use is appropriate in this location as the site is not in flood zones 2 or 3.

5.49 The NPPF in paragraph 167 establishes that when determining any planning applications, flood risk elsewhere should not be increased and sustainable drainage systems be incorporated, unless there is clear evidence that this would be inappropriate. The local approach following the NPPF, in policy ENV5, is that existing surface water rates are evidenced and reduced by 30%. It also applies the sustainable drainage hierarchy.

6.0 CONCLUSION

6.1 The presumption in favour of sustainable development in paragraph 11d of the NPPF applies to this application. This means permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole.

6.2 The scheme is considered acceptable in principle, taking into account need for the proposed use and the sustainable location for such. The former site operator has relocated to a preferable site. There are favourable sites where the employment needs of the city, over the emerging plan period, can be accommodated. The scheme accords with local policy for the economy and student accommodation and NPPF paragraph 123 which states Local Planning Authorities *“should support proposals to use retail and employment land for homes in areas of high housing demand, provided this would not undermine key economic sectors or sites or the vitality and viability of town centres”*.

6.3 The proposed development ranges in height from 3-5 storey. This building scale is comparable to the development to the west and would not be excessive in this location. There is no harm to the setting of the Central Historic Core Conservation Area. Technical matters are addressed (using planning conditions where necessary). The scheme would function adequately and provide reasonable levels of amenity for future occupants. There would be no undue effects on neighbours and a favourable effect on the highway (and setting in this respect) compared to the former use. Approval is recommended; no adverse impacts of the scheme are identified, that would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole.

7.0 RECOMMENDATION: Approve subject to a planning obligation to secure funding towards travel plan assistance (over a 5 year period) and subject to the following conditions -

1 TIME2 Development start within three years

2 The development hereby permitted shall be carried out in accordance with the following plans:-

Context plans

300-1100-2101 P04

300-2100-2101 P04, 2102 P04, 2103 P04

Site plan

400-1101-2101 P04

Floor plans

501-1101-2101 P04, 2102 P04, 2103 P04, 2104 P04, 2105 P04, 2106 P04

Elevations

501-3100-2101 P06, 2102 P06, 2103 P06

Materials

501-3100-2201 P03, 2202 P04, 2203 P04, 2204 P04, 2205 P04, 2206 P03

Areas

400-1101-4401 P04

Typical rooms layouts

700-1100-2401 P01

Reason: For the avoidance of doubt and to ensure that the development is carried out only as approved by the Local Planning Authority.

3 Times of construction

The hours of construction, loading or unloading on the site shall be confined to 8:00 to 18:00 Monday to Friday, 9:00 to 13:00 Saturday and no working on Sundays or public holidays.

Any working outside of the permitted hours is subject to prior approval in writing by the Local Planning Authority. (Any requests to work outside of the permitted hours shall contain justification and details of practical measures to avoid noise disturbance).

Reason: To protect the amenities of adjacent residents.

4 Construction management

Application Reference Number: 21/02164/FULM

Item No: 4b

Prior to commencement of development, a Construction Management Plan shall be submitted to and approved in writing by the local planning authority. The approved plan shall be adhered to throughout the construction period. The plan shall include the following details -

- Dilapidation survey

A dilapidation survey of the highways adjoining the site which shall be jointly undertaken with the Council's highways department and the results of which shall be agreed in writing with the Local Planning Authority.

- Management of vehicular movements associated with construction and contractor parking; to include scheduling of deliveries / construction vehicles.
- Wheel washing facilities and measures to prevent mud and detritus getting on to the public highway.
- Measures to control the emission of noise, dust and dirt during construction. To include a site specific risk assessment of dust impacts in line with the guidance provided by IAQM (see <http://iaqm.co.uk/guidance/>) and a package of mitigation measures commensurate with the risk identified in the assessment and measures to control noise during any piling of foundations. In particular details will be required with regards to demolition and method of piling for the proposed building.
- Means of preventing light pollution during construction, including the angling of lighting and times of operation.
- Point of contact on site for enquiries.
- Complaints procedure.

The procedure should detail how a contact number will be advertised to the public, and procedure once a complaint had been received. Written records of any complaints received and actions taken should be kept and details forwarded to the Local Authority every month during construction works by email to the following addresses public.protection@york.gov.uk and planning.enforcement@york.gov.uk

Reason: Specifically required prior to commencement, to protect the amenity of the locality.

5 Drainage

Prior to development (excluding demolition and any enabling works) full details of the site drainage shall be submitted to the Local Planning Authority and approved in writing. The development shall be carried out in accordance with the approved details.

Details shall include -

- Consideration given to the use of soakaways. Discharge to the public sewer shall only be permitted if it can be evidenced soakaways are unsuitable (through an appropriate assessment carried out under BRE Digest 365).
- The means by which the surface water discharge rate shall be restricted to a

maximum rate of 33.3 litres per second.

- Storage volume calculations, using computer modelling, which must accommodate a 1:30 year storm with no surface flooding, along with no internal flooding of buildings or surface run-off from the site in a 1:100 year storm. Proposed areas within the model must also include an additional 30% allowance for climate change. The modelling must use a range of storm durations, with both summer and winter profiles, to find the worst-case volume required.
- Existing and proposed ground levels.
- Future management and maintenance of the proposed drainage scheme.

Reason: In the interests of preventing increased flood risk, as required under NPPF section 15, policy ENV5 of the 2018 eLP and the City of York Council Sustainable Drainage Systems Guidance for Developers.

6 A programme of post-determination archaeological evaluation is required on this site.

- A) Following demolition an archaeological evaluation and post investigation assessment shall be completed in accordance with the programme set out in the approved Written Scheme of Investigation (On-Site Archaeology July 2021). Provision made for analysis, publication and dissemination of results and archive deposition will be secured. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.
- B) A copy of a report on the evaluation and an assessment of the impact of the proposed development on any of the archaeological remains identified in the evaluation shall be deposited with City of York Historic Environment Record to allow public dissemination of results within 6 weeks of completion or such other period as may be agreed in writing with the Local Planning Authority.
- C) Where archaeological features and deposits are identified proposals for the preservation in-situ, or for the investigation, recording and recovery of archaeological remains and the publishing of findings shall be submitted as an amendment to the original WSI. These details shall be submitted to the local planning authority and approved prior to the commencement of construction. (There shall be presumption in favour of preservation in-situ wherever feasible).
- D) A copy of a report on the archaeological works detailed in Part C should be deposited with City of York Historic Environment Record within 3 months of completion or such other period as may be agreed in writing with the Local Planning Authority.

Reason: In accordance with Section 16 of NPPF. The site lies within an Area of Archaeological Importance. An investigation is required to identify the presence and

significance of archaeological features and deposits and ensure that archaeological features and deposits are either recorded or, if of national importance, preserved in-situ.

7 Archaeology foundation design

A foundation design and statement of working methods, which preserve at least 95% of the archaeological deposits, is required for this site.

No development (apart from above ground enabling or demolition works) shall commence until a foundation design and statement of working methods (including a methodology for identifying and dealing with obstructions to piles and specification of a level in metres AOD below which no destruction or disturbance shall be made to archaeological deposits except for that caused by the boring or auguring of piles for the building foundation) which preserve 95% of the archaeological deposits on the site has been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Reason: In accordance with Section 16 of NPPF and City of York Historic Environment Policy HE10. The site lies within an Area of Archaeological Importance which contains significant archaeological deposits.

8 LC1 Land contamination - Site investigation

9 LC2 Land contamination - remediation scheme

10 LC3 Land contamination - remedial works

11 Nesting Birds

No vegetation clearance shall take place between 1st March and 31st August inclusive, unless a competent ecologist has undertaken a careful, detailed check of suitable habitat for active birds' nests immediately before the works and provided written confirmation that no birds will be harmed and/or that there are appropriate measures in place to protect nesting bird interest on site. Any such written confirmation shall be submitted to the local planning authority in advance of any vegetation clearance.

Reason: To ensure that breeding birds are protected from harm during construction. All British birds, their nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981, as amended.

12 Sustainable design and construction

Prior to commencement of construction of the development details of the proposed

building design, to reduce carbon emissions, shall be submitted to the local planning authority and approved in writing. The development shall be carried out in accordance with the approved details.

The details shall evidence either a reduction in carbon emissions of at least 28% compared to the target emission rate as required under Part L of the Building Regulations 2013 or compliance with any approved Part L document dated 2021 or thereafter.

Reason: To fulfil the environmental objectives of the NPPF and support the transition to a low carbon future, and in accordance with policy CC2 of the Publication Draft Local Plan 2018.

13 Materials

Manufacturer's details of the external materials to be used shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the construction of the development. They shall be made available for review on-site, at the discretion of the Local Planning Authority. The development shall be carried out using the approved materials.

Sample panels of the brickwork to be used shall be erected on the site and shall illustrate the colour, texture and bonding of brickwork/ stonework and the mortar treatment to be used, and shall be approved in writing by the Local Planning Authority prior to the commencement of building works within that phase. These panels shall be retained until a minimum of 2 square metres of wall of the approved development has been completed in accordance with the approved sample.

Reason: In the interests of good design, in accordance with section 12 of the NPPF.

14 Large scale details

Details of the items listed below shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of construction of the development and the works shall be carried out in accordance with the approved details.

- a) Typical sections at 1:20 or 1:10
- b) Boundary treatment
- c) Sub-station

Reason: In the interests of good design, in accordance with section 12 of the NPPF.

15 Noise

The sound attenuation measures detailed in the noise assessment - PDA Acoustic Consultants report ref J003462-5141-ECE 02 dated September 2021 shall be fully implemented prior first occupation of the development hereby permitted. The measures shall be permanently retained thereafter.

Reason: To protect the amenity of residents from externally generated noise and in accordance with the National Planning Policy Framework paragraph 130.

16 Footpaths surrounding the site

The development shall not be occupied until all footpaths surrounding the site have been instated / re-instated to adjacent levels.

Reason: To ensure that footpaths are provided around the site (including along Elvington Terrace) and connecting into the wider network. In the interests of good design and sustainable travel, in accordance with sections 9 and 12 of the NPPF.

17 Provision of hard landscaping / access / servicing

The development shall not be occupied until the areas of hard landscaping, servicing areas and access points shall have been provided in accordance with the approved site plan drawing 400-1101-2101 P04.

Reason: In the interest of good design and ensuring the safe and free passage of traffic on the public highway.

18 Landscaping

The development shall not be occupied until there has been submitted to and approved in writing by the Local Planning Authority a detailed landscaping scheme which shall illustrate the number, species, height and position of trees and shrubs. This scheme shall be implemented within a period of six months of the completion of the development. Any trees or plants which die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species, unless alternatives are agreed in writing by the Local Planning Authority.

Reason: So that the Local Planning Authority may be satisfied with the variety, suitability and disposition of species within the site in the interests of the character and appearance of the area.

19 Crime and disorder

The development shall not be occupied until details of the following site operation measures have been submitted to and approved in writing by the local planning

authority. The site shall operate in accordance with the approved measures at all times.

- Boundary treatment;
- access control measures;
- physical protection of doors / windows and cycle storage;
- site management plan, to include details of site's operation and management, an antisocial behaviour code, car parking rules on change-over days, and site maintenance.

Reason: In accordance with NPPF paragraph 130f to create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

20 Biodiversity

The development shall not be occupied until a scheme for providing biodiversity net gain has been submitted to the local planning authority for approval in writing and the scheme has been carried out in accordance with the approved details. The scheme shall provide for at least -

- At least 2 bat boxes, located on the south, east or west elevations and at least 3m above ground level.
- At least 2 bird boxes located at least 3m from ground level and located away from prevailing wind, rain and sunlight.

Reason: To take account of and enhance the biodiversity and wildlife interest of the area, in accordance with Paragraph 174 d) of the NPPF.

21 Electric vehicle charging facilities

The development shall not be occupied until a minimum of 1 Electric Vehicle Recharging Point has been provided on site which is accessible from the car parking spaces on-site. The charging point shall incorporate a suitably rated 32A 'IEC 62196' electrical socket to allow 'Mode 3' charging of an electric vehicle.

In addition, a minimum of 1 additional parking bay shall be identified for the future installation of additional Electric Vehicle Charging Point. This additional bay shall be provided with all necessary ducting, cabling and groundwork to facilitate the addition of Electric Vehicle Charge Points in the future, if required (passive provision).

The Electric Vehicle facilities shall be retained thereafter and reasonably maintained at all times and be available for the charging of electric vehicles.

Reason: To promote and facilitate the uptake of electric vehicles on the site in line

with the Council's Low Emission Strategy (LES) and NPPF paragraph 112.

22 Cycle and bins provided and retained

The development shall not be occupied until the cycle and bin storage has been provided in accordance with the approved ground floor plan drawing 501-1101-2101 P04. The facilities shall be retained for such use at all times.

Reason: To promote sustainable transport and in the interests of good design in accordance with section 9 of the NPPF.

23 Site management

The development shall not be occupied until a management and occupation plan for the site has been submitted to and approved in writing by the Local Planning Authority. The development shall operate in accordance with the approved management and occupation plan at all times. The plan shall detail the following -

- Single occupancy only for the studio/bedrooms.
- Maintenance of servicing and waste collection facilities / arrangements for managing waste collection.
- Provision of staff on-site.
- Management of the outside amenity space in the interests of avoiding noise disturbance.
- Strategy for dealing with any complaints from the public.
- Measures to ensure on-site staff will monitor excessive noise and raise issues with residents.
- That the student tenancy agreements include clauses relating to anti-social behaviour.

Reason: In the interests of amenity and highway safety.

24 Travel Plan

Within six months of first occupation of the development hereby permitted a Full Travel Plan, prepared by the site operator, shall be submitted to the Local Planning Authority for approval in writing. The site shall thereafter be occupied in accordance with the aims, measures and outcomes of said Travel Plan as approved.

The plan shall adhere to National Planning Policy Guidance, in providing objectives, monitoring and meeting the identified objectives. It shall include details of the Travel Plan co-ordinator and details for monitoring cycle usage and providing extra facilities subject to demand. Results of annual travel surveys shall be submitted annually to the authority's travel plan officer for approval.

Reason: To ensure that traffic flows from the site can be safely accommodated and to promote the usage of sustainable means of transport. To encourage sustainable modes of travel in accordance with NPPF paragraph 113.

25 Communal uses

The communal amenity space for occupants shall be provided in accordance with the approved floor plans prior to first occupation and retained for communal uses at all times.

Reason: In the interests of good design and amenity.

26 Student Accommodation only

The development hereby approved shall be occupied only as student housing accommodation. No person other than a student registered with, and engaged in, a course of full time further or higher education or a delegate registered with and attending a part time educational course or conference within the City of York administrative boundary shall occupy any part of the development at any time.

The owner, or site operator shall keep an up to date register of the name of each person in occupation of the development together with course(s) or conference(s) attended. The register shall be available for inspection by the local planning authority on demand at all reasonable times.

Reason: For the avoidance of doubt and in order to control the future occupancy of the development, as otherwise the development would involve other requirements in order to be NPPF compliant, such as the inclusion of affordable housing.

8.0 INFORMATIVES:

Notes to Applicant

1. Bats

In the unlikely event that bats are discovered during works the developers attention is drawn to the method statement provided in the Preliminary Bat Roost Assessment by Wold Ecology July 2021.

2. STATEMENT OF THE COUNCIL`S POSITIVE AND PROACTIVE APPROACH

In considering the application, the Local Planning Authority has implemented the requirements set out within the National Planning Policy Framework (paragraph 38) in seeking solutions to problems identified during the processing of the application. The Local Planning Authority took the following steps in order to achieve a positive

outcome: sought revised plans in order for the scheme to be acceptable in terms of its effect on the setting and surrounding occupants and through the use of planning conditions.

Contact details:

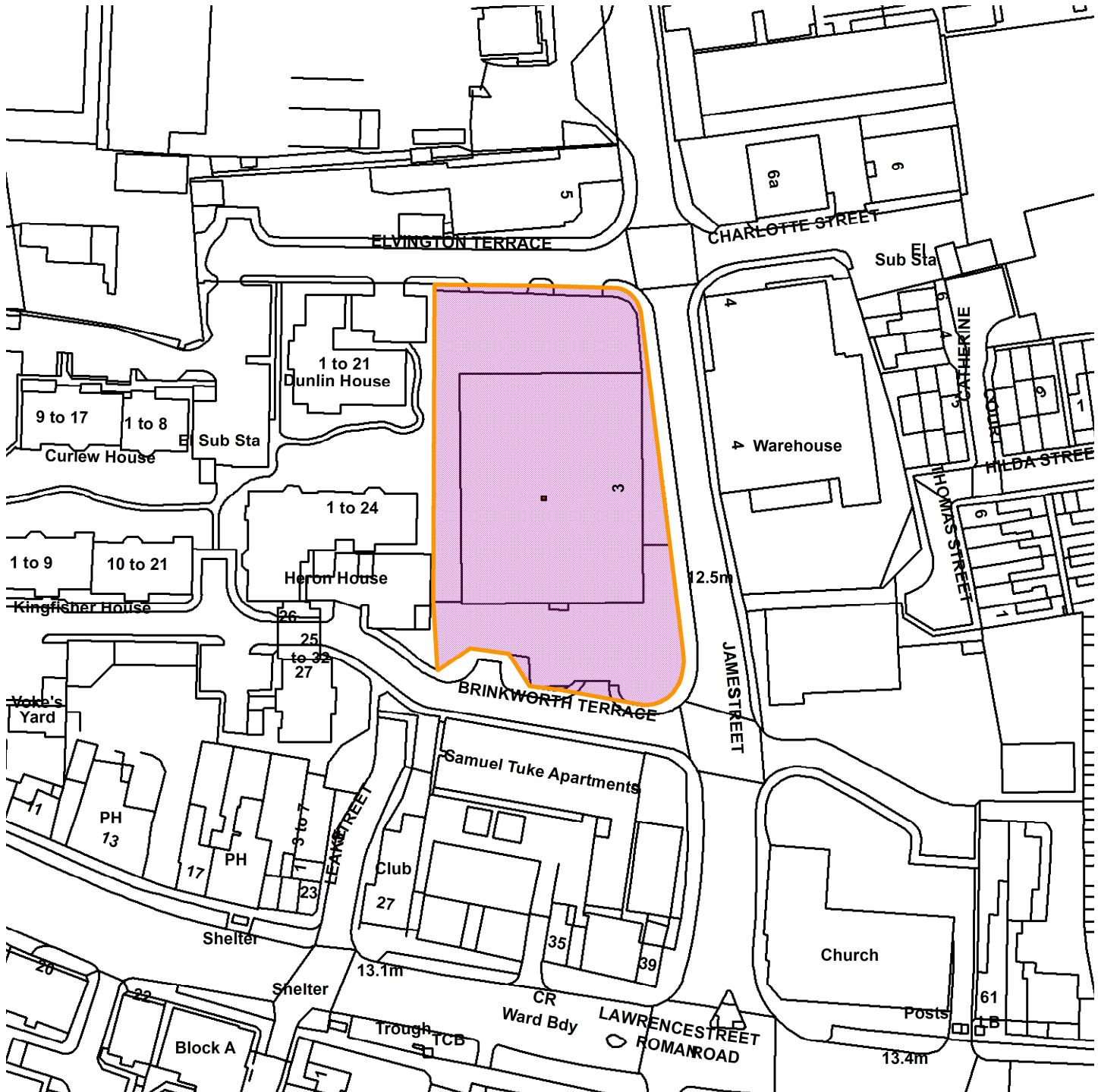
Case Officer: Jonathan Kenyon

Tel No: 01904 551323

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Alton Cars York Ltd, 3 James Street, YO10 3WW

21/02164/FULM



Scale : 1:1192

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Organisation	City of York Council
Department	Directorate of Place
Comments	Site Location Plan
Date	24 January 2022
SLA Number	

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Planning Committee

To be held on Thursday 3rd February 2022

21/02164/FULM – Alton Cars Ltd, 3 James Street, York

Demolition of existing buildings and redevelopment of the site for purpose-built student accommodation with up to 319 bedrooms, associated communal facilities, car parking and landscaping

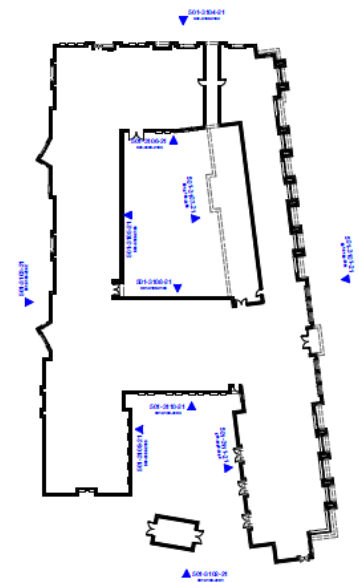
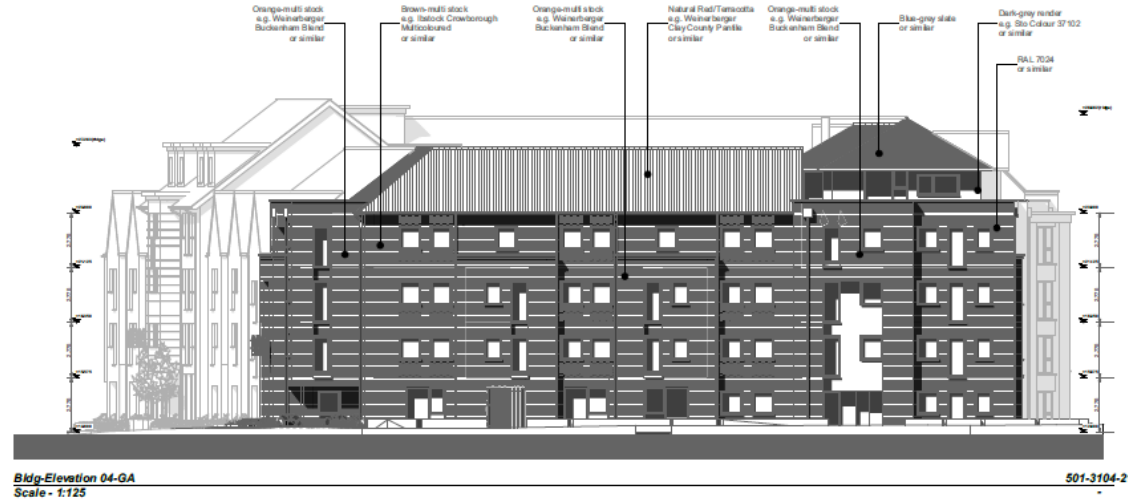
Proposed Block Plan



Context-Block Plan-GA Scale - 1:500 300-1101-21



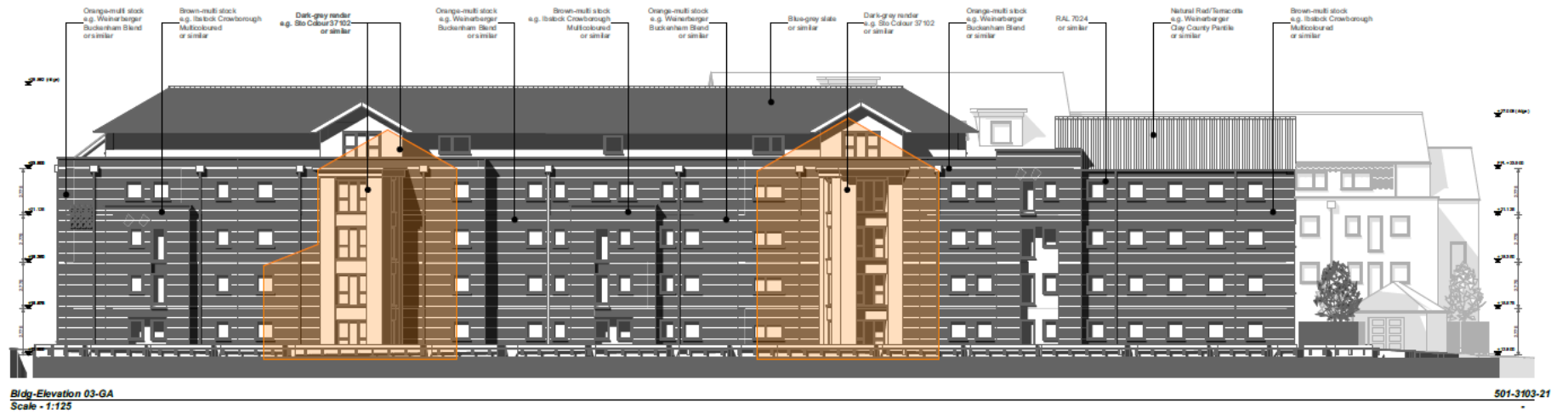
Proposed Elevations North and West



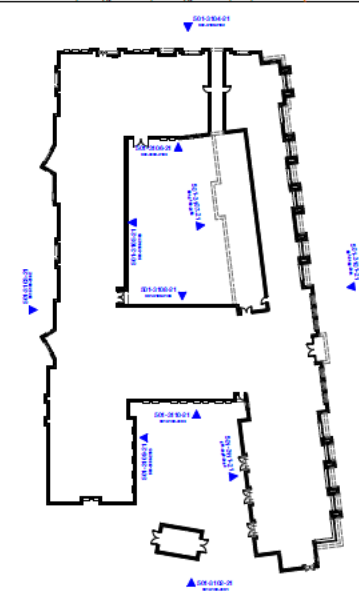
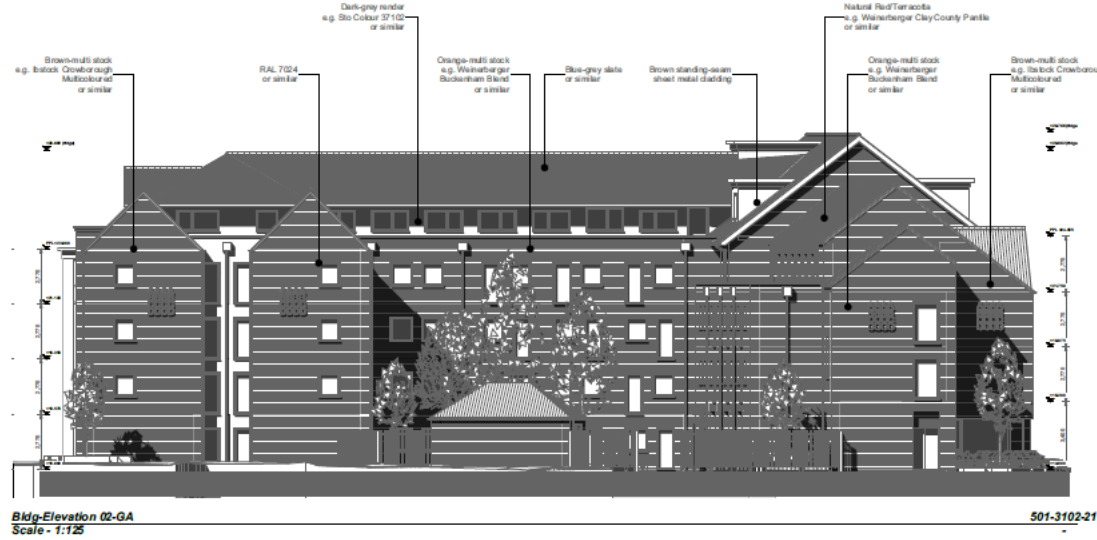
1. The architect shall be responsible for the design and construction of the building in accordance with the approved plans and specifications. The architect shall ensure that the building is constructed in accordance with the approved plans and specifications and shall be responsible for the design and construction of the building in accordance with the approved plans and specifications.

2. The architect shall be responsible for the design and construction of the building in accordance with the approved plans and specifications. The architect shall ensure that the building is constructed in accordance with the approved plans and specifications and shall be responsible for the design and construction of the building in accordance with the approved plans and specifications.

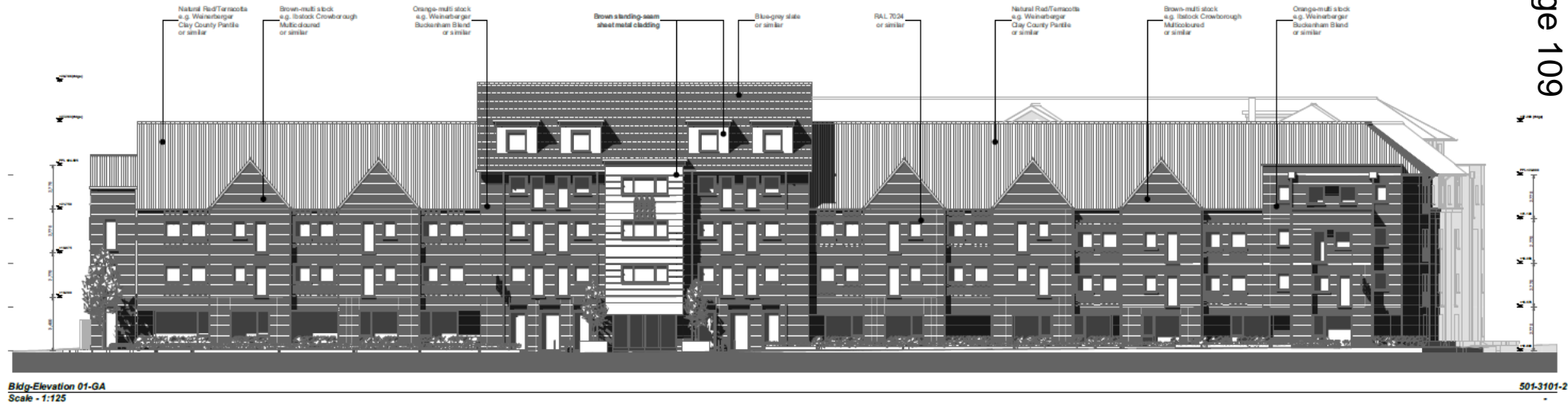
3. The architect shall be responsible for the design and construction of the building in accordance with the approved plans and specifications. The architect shall ensure that the building is constructed in accordance with the approved plans and specifications and shall be responsible for the design and construction of the building in accordance with the approved plans and specifications.



Proposed Elevations South and East



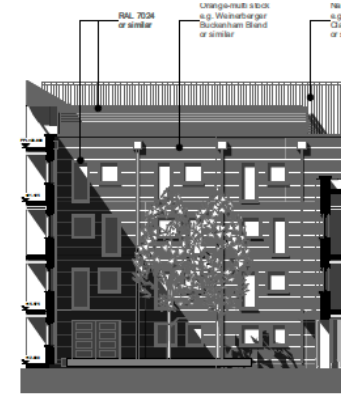
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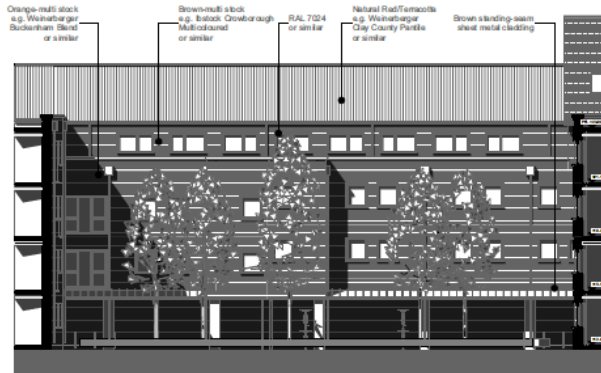
Proposed Elevations - Courtyards



Bldg-Elevation 05 (Courtyard 1)-GA
Scale - 1:125



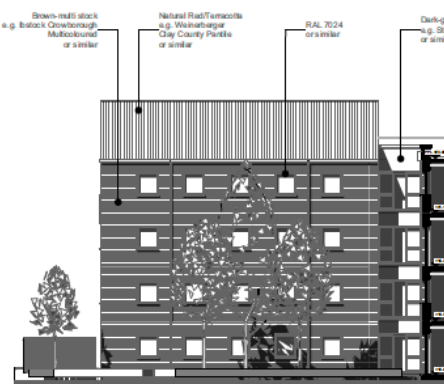
501-3105-21 Bldg-Elevation 06 (Courtyard 1)-GA 501-3106-21
Scale - 1:125



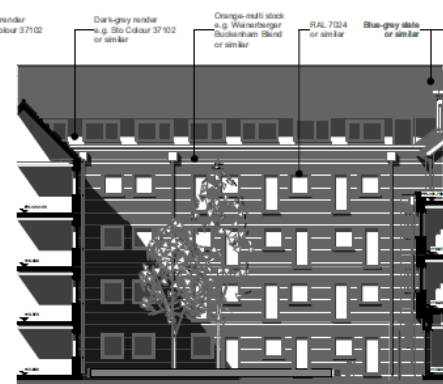
Bldg-Elevation 07 (Courtyard 1)-GA
Scale - 1:125



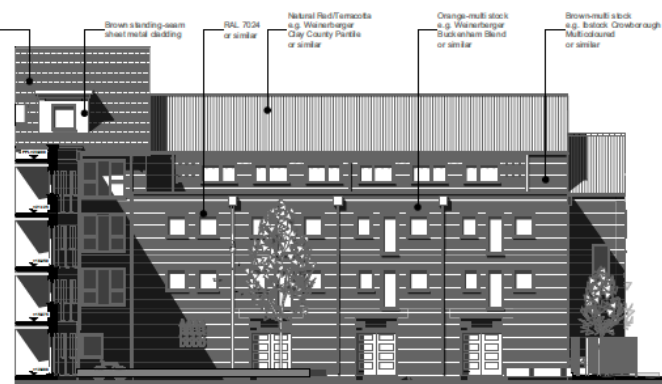
501-3107-21 Bldg-Elevation 08 (Courtyard 1)-GA 501-3108-21
Scale - 1:125



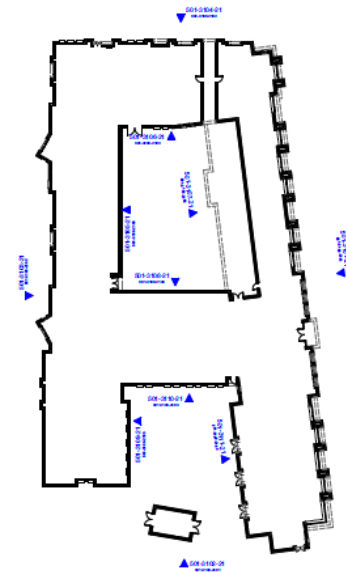
Bldg-Elevation 09 (Courtyard 2)-GA
Scale - 1:125



501-3109-21 Bldg-Elevation 10 (Courtyard 2)-GA 501-3110-21
Scale - 1:125



501-3110-21 Bldg-Elevation 11 (Courtyard 2)-GA 501-3111-21
Scale - 1:125



NOT TO SCALE
 1. All elevations are based on the 2019 York Building Code.
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Elevations with Materials



BiDg-Elevation 03-Materials
Scale - 1:75

501-3103-22

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Roof 1:
Slate
Blue-grey slate
or similar

Wall 1:
Clay Facing Brick
Orange-multi stock
e.g. Weinbarger
Buckingham Blend
or similar

Roof 2:
Clay Pantle
Natural Red/Terracotta
e.g. Weinbarger Clay
County Pantle
or similar

Wall 2:
Clay Facing Brick
Brown-multi stock
e.g. Ballock
Crowborough
Multicoloured
or similar

Roof 3/Wall
Metal Clad
Brown steel
sheet metal

Wall 4:
Render
Dark-grey
e.g. Sto Col
or similar

Wall 5:
Render
Grey-white render
e.g. Sto Colour 16209
or similar

Windows Doors and
Architraves:
Painted
RAL 7024
or similar

Page 111



Proposed Ground Floor Plan



Proposed First Floor



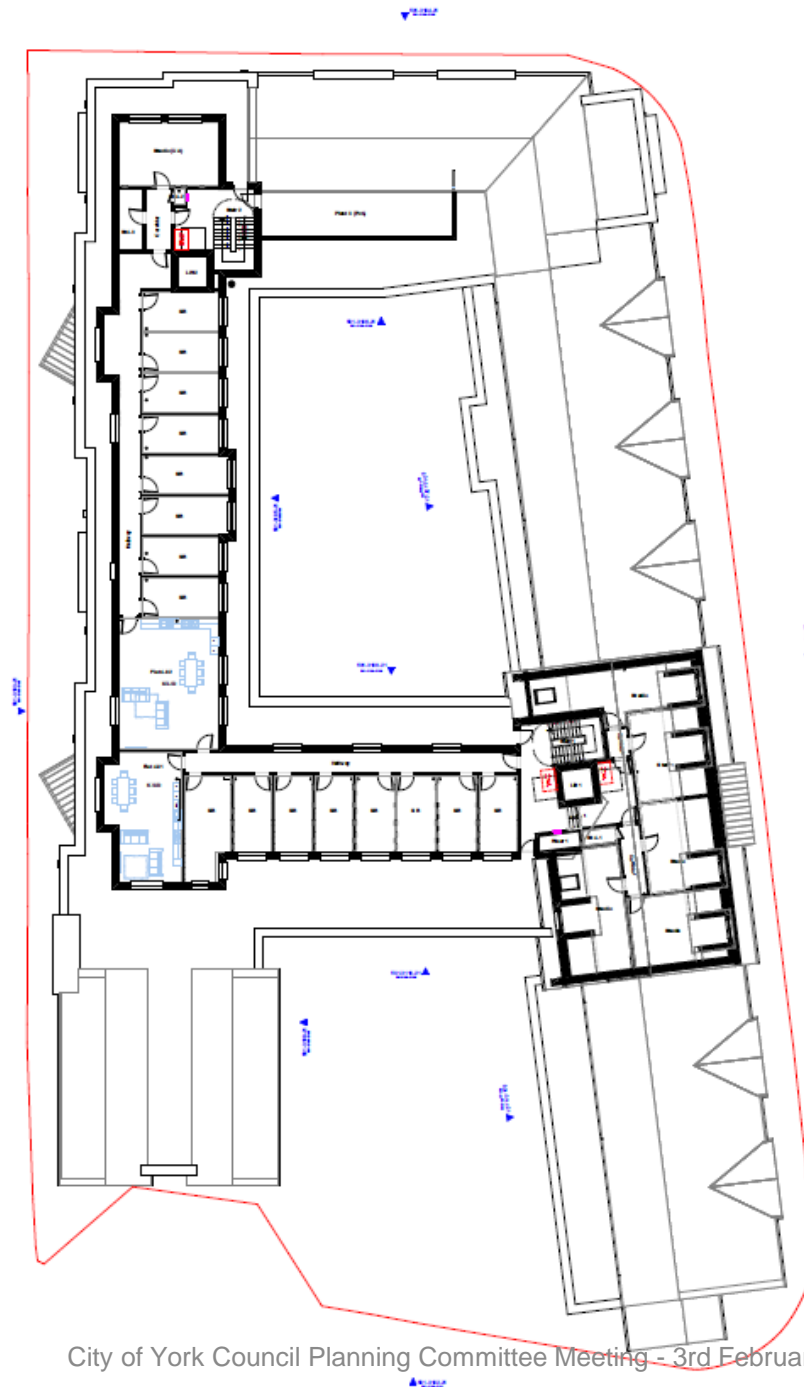
Proposed Second Floor



Proposed Third Floor



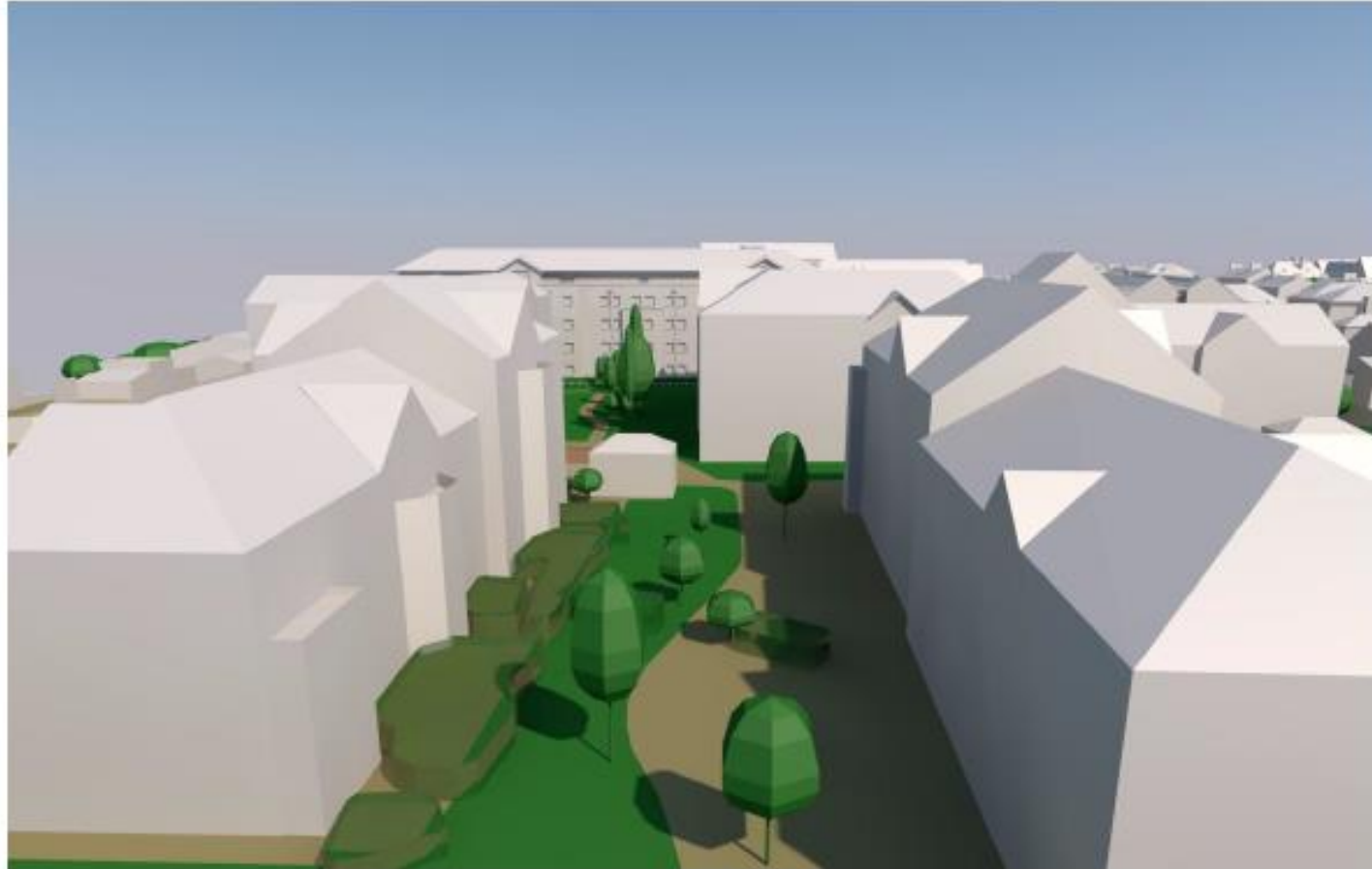
Proposed Fourth Floor



Site Plan – Overlooking Appraisal



High Level Views-Massing Model (1)



302-4105-31 High Level-View 05 (W)-Massing Model

Illustrating how the new composition replaces an unsightly industrial building to define one side of an existing semi-private landscaped courtyard with residential accommodation to significantly improve the environment for surrounding properties

High Level Views-Massing Model (2)

Crease Strickland Parkins Ltd, Bishopgate House, 1 Bishopgate Street, York, YO23 1WH | 01904 641289 | © 18992022 www.csparchitects.co.uk

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DIMENSIONS: All dimensions and areas shown are as designed and are measured to wall face (excluding eaves, fascias) unless otherwise indicated. Actual (as built) dimensions and areas include building tolerances. They will therefore vary accordingly and are to be confirmed by site measurement. If in doubt, please request confirmation.

FORMAT: Digital data distribution means that documents may exist in several formats. The current CSP development set is published in PDF. If you are viewing this drawing in DWG/DWF (or other) format, it may contain data (e.g. outside the viewport) that is not current and should not be relied upon. Always compare files with the latest published PDF version to confirm you are referring to current information.



302-4101-31 High Level-View 01 (SE)-Massing Model

Illustrating how varied roof profiles in the new composition blend with surrounding roofscapes to reinforce the existing townscape with similar scale and forms



302-4102-31 High Level-View 02 (NE)-Massing Model

Illustrating how varied roof profiles in the new composition blend with surrounding roofscapes to reinforce the existing townscape with similar scale and forms

Rev	CSP	Issue/Description
001	01E	Final working building prepared to receive planning & secondary to respond to CYP planning feedback and developer comments - completed & available
000	00A	Issue

Site at 3 James St (Alton Cars), York
High Level-Views-Massing Model

csp ARCHITECTS
ACY401
302-4100-3101

20 30 40mm (1:1) Scale/area as shown @ A3 - Use figured dimensions only. Do not scale off this drawing. Source: ACY401/303 ACV25



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DIMENSIONS: All dimensions and areas shown, as well as floor (excluding sited fixtures) unless otherwise stated, are to be confirmed by site measurement. (1:1)

FORMAT: Digital data distribution means that this drawing is not a physical document. It may be that it is not current and should not be relied upon. published PDF version to confirm you are referring



302-4103-31 High Level-View 03 (NW)-Massing Model

Illustrating how varied roof profiles in the new composition blend with surrounding roofscapes to reinforce the existing townscape with similar scale and forms



302-4104-31 High Level-View 04 (SW)-Massing Model

Illustrating how the new composition replaces an unsightly industrial building to define an attractive series of interlinked courtyard spaces that significantly improve the residential environment for surrounding properties

001	CSP	Massing Model
002	CSC	Massing Model
003	001	001

Site at 3 James St (Alton Cars), York

High Level-Views-Massing Model

csp ACY401
302-4100-31

20 30 40mm (1:1) Scale: areas shown @ A3 - Use figured dimensions only. Do not scale off this drawing. Source: ACY401v303 ACv25



High Level Views-Massing Model (3)

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